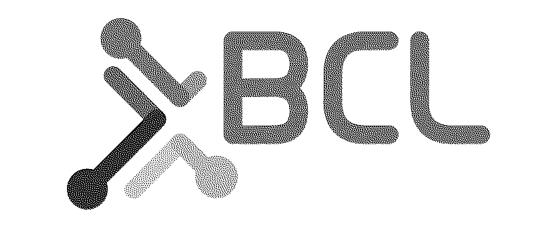


MPS GLENSIDE FOR MUSKEGON PUBLIC SCHOOLS

1213 W Hackley Ave, Muskegon, MI 49441 ISSUED FOR: CONSTRUCTION DOCUMENTS











COVER SHEET

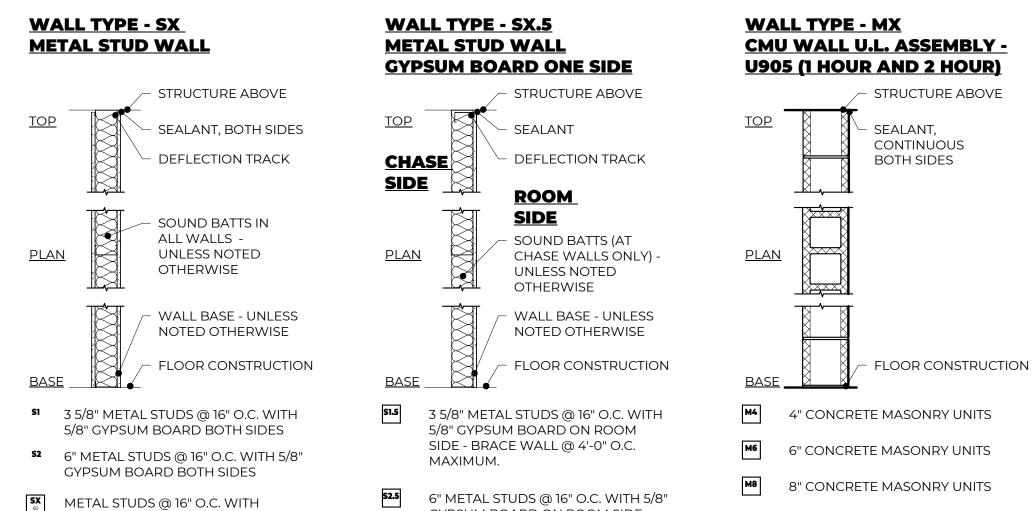
SHEET NUMBER

COVER SHEET

SHEET NUMBER

PROJECT NO. 22 114

03.08.2024



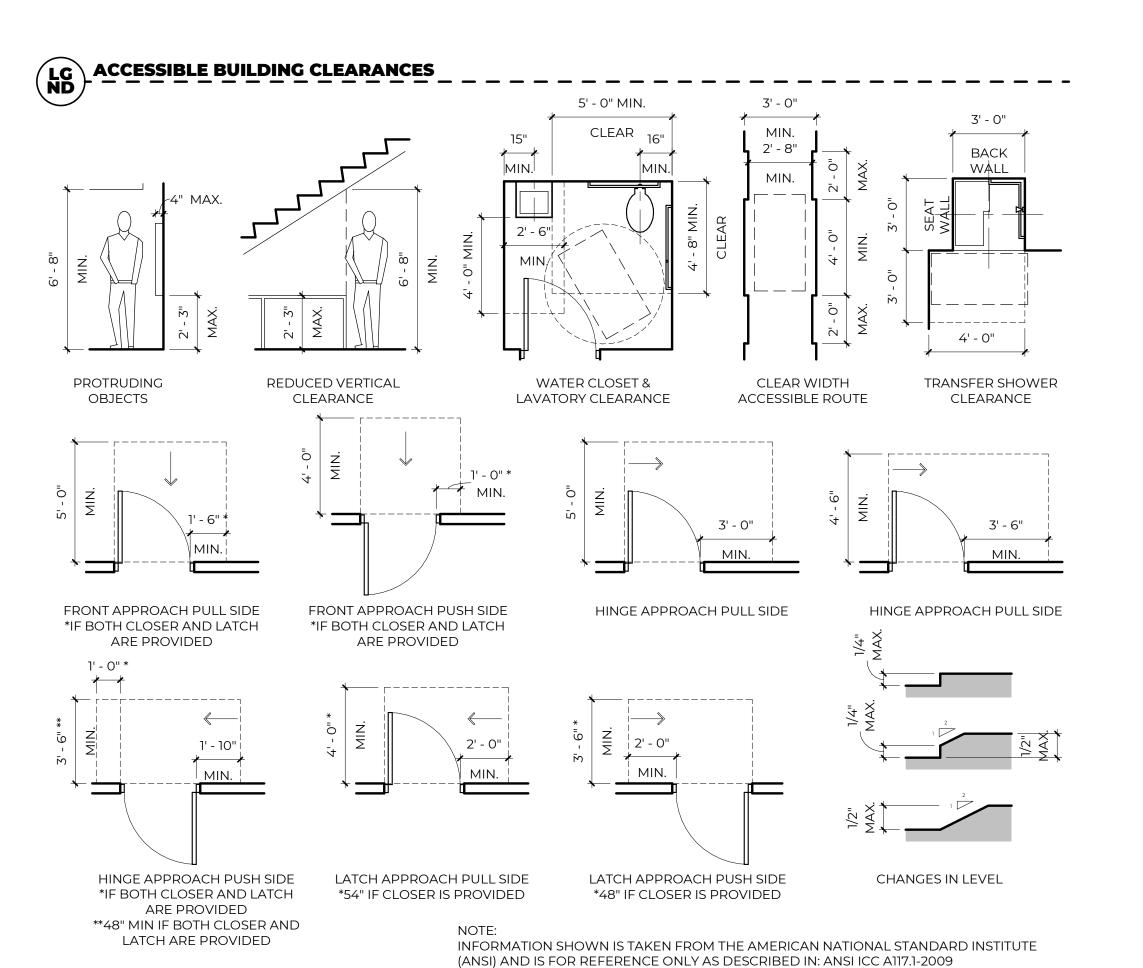
GYPSUM BOARD ON ROOM SIDE -

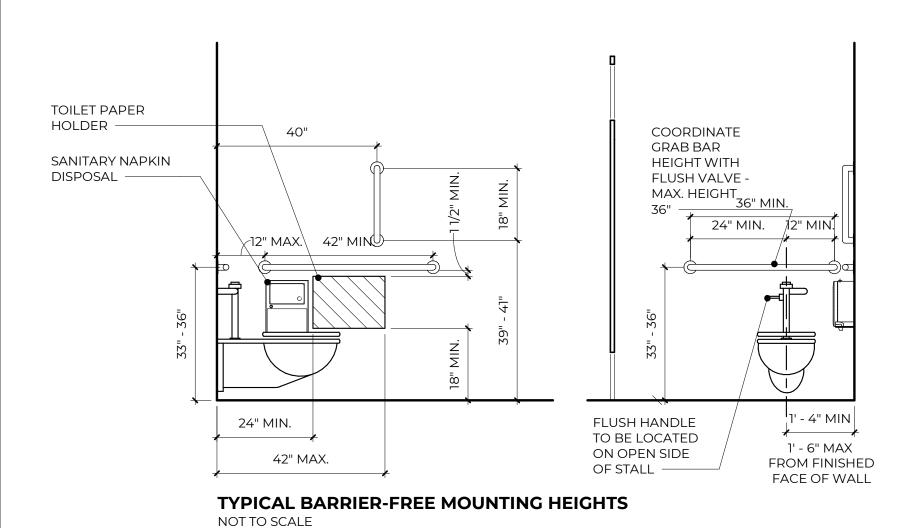
BRACE WALL @ 4'-0" O.C. MAXIMUM.

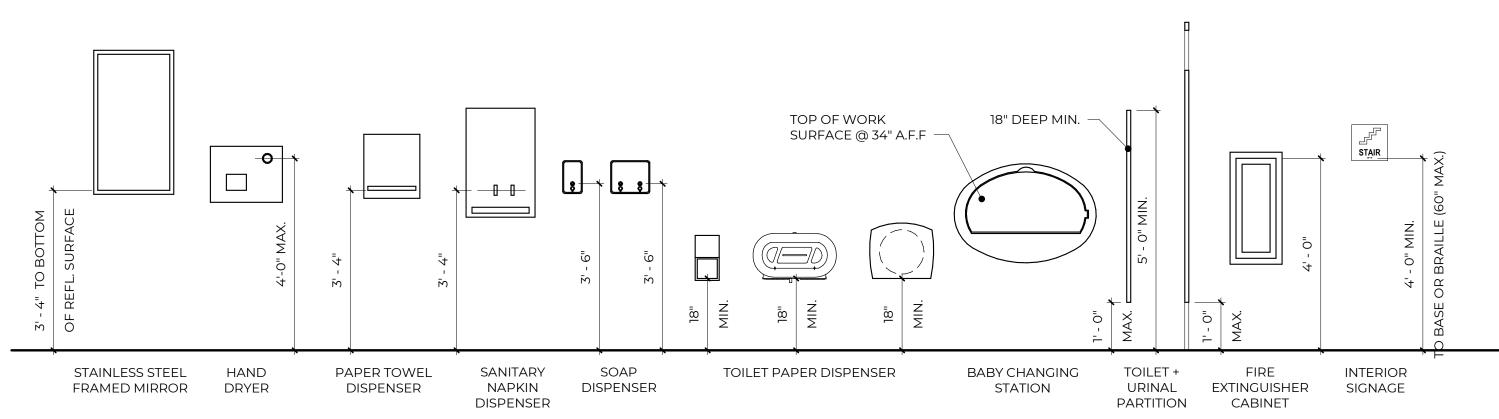
5/8" GYPSUM BOARD BOTH SIDES;

(1 HOUR FIRE) U.L. ASSEMBLY

U465 WHERE NOTED ON PLANS

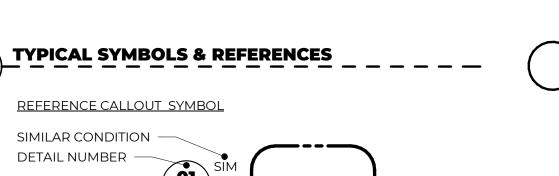






TYPICAL MOUNTING HEIGHTS

NOT TO SCALE



ELEVATION LETTER

SHEET LIST

SHEET#

GENERAL

G001

G002

G101

CIVIL C 101

S001

S101A

S301A

S302B

D101A

D101B

D103

D201A

D201B

A100

A101A

A101B

A103

A105

A106

A201A

A201B

A301

A302

A303

A421

A601

1001

1101A

1101B

D501

D502

D503

P101

P102

P103

P104

MECHANICAL

M001

M101

M102

M103

M104

M201

M301

M401

M402

M403

M404

M405

M501

M502

D701B

D702

E001

E010

E101A

E101B

E102

E201A

E201B

E202

E401

E402

E501

E601

TD102

T-001

T-002

T-010

T-101

T-501

T-502

T-503

T-601

T-701

T-702

L _ _

TECHNOLOGY

TECHNOLOGY

ELECTRICAL

ELECTRICAL DEMOLITION

PLUMBING

INTERIORS

PLUMBING DEMOLITION

MECHANICAL DEMOLITION

ARCHITECTURAL

DEMOLITION

STRUCTURAL

ROOF DEMOLITION PLAN

DEMOLITION PLAN - UNIT B

OVERALL FLOOR PLANS

FIRST FLOOR PLAN - UNIT A

PLAN - UNIT A

ALTERNATE 02

FIRST FLOOR REFLECTED CEILING DEMOLITION

1ST AND 2ND FLOOR REFLECTED CEILING

FIRST AND SECOND FLOOR PLANS - UNIT B

BUILDING WINDOW PLAN - ALTERNATE 01 &

STOREFRONT WINDOW FRAME ELEVATIONS

DOOR SCHEDULES & DOOR PERSPECTIVES

FOUNDATION PLUMBING DEMOLITION PLAN - UNIT

BUILDING ELEVATIONS - BASE BID

BUILDING ELEVATIONS - ALT. 01

MATERIAL SELECTION SCHEDULE

FIRST FLOOR FINISH PLAN

EXISTING ONE LINE DIAGRAM

NEW ONE LINE DIAGRAM

PANELBOARD SCHEDULES

TECHNOLOGY DEMOLITION FIRST FLOOR PLAN -

TECHNOLOGY DEMOLITION FIRST AND SECOND

TECHNOLOGY AND SECURITY FIRST FLOOR PLAN -

TECHNOLOGY AND SECURITY FIRST AND SECOND

TECHNOLOGY ROOMS AND ELEVATIONS

TECHNOLOGY SECURITY SCHEDULES

TECHNOLOGY SECURITY ONE LINE DIAGRAMS

TECHNOLOGY SECURITY ONE LINE DIAGRAMS

ELECTRICAL DETAILS

FLOOR PLAN - UNIT B

TECHNOLOGY LEGENDS

TECHNOLOGY SITE PLAN

TECHNOLOGY NOTES

FLOOR PLAN - UNIT B

TECHNOLOGY DETAILS

TECHNOLOGY DETAILS

SECURITY DETAILS

ROOF PLAN

UNIT A

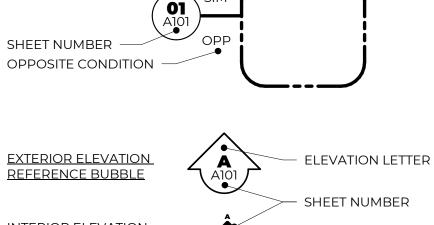
UNIT A

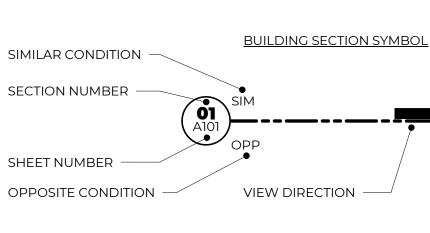
SECOND FLOOR FINISH PLAN

INTERIOR PERSPECTIVES

FIRST FLOOR REFLECTED CEILING PLAN - UNIT A

1ST AND 2ND FLOOR REFLECTED CEILING PLAN -





OPPOSITE CONDITION **DOOR IDENTIFICATION** DOOR TAG NUMBER **CORRESPONDS TO THE ROOM IN WHICH IT IS USED**



DOORS IN THE SAME ROOM

THE DECIMAL NUMBER

REFERS TO DIFFERENT

REFERENCE BUBBLE

- 1. THE OWNER RESERVES THE RIGHT TO REMOVE ANY ITEM FROM THE PROJECT PRIOR TO COMMENCEMENT OF CONTRACTED DEMOLITION
- 2. ALL EXISTING CONDITIONS SHOULD BE FIELD VERIFIED BEFORE WORK
- 3. DIMENSIONS GIVEN ARE ACTUAL AND ARE TO THE FACE OF MASONRY UNITS OR TO THE FACE OF STUD FRAMING, UNLESS NOTED OTHERWISE.
- 4. DETAILS SHOWN ILLUSTRATE DESIGN INTENT, NOT ALL POSSIBLE CONDITIONS. FOR CONDITIONS NOT SHOWN, USE DETAILS CLOSEST TO CONDITION IN QUESTION.
- 5. EXTEND ALL INTERIOR WALL PARTITIONS FROM FLOOR TO STRUCTURE/DECK ABOVE UNLESS NOTED OR DETAILED OTHERWISE.
- 6. WITHIN BUILDING INTERIOR PROVIDE BULLNOSE BLOCK IN CMU WALL ASSEMBLIES AT ALL EXPOSED OUTSIDE CORNERS, INCLUDING WINDOW AND DOOR JAMBS, UNLESS NOTED OR DETAILED OTHERWISE. PROVIDE SQUARE OUTSIDE CORNERS AT ALL LOCATIONS FINISHED WITH WALL TILE, REFER TO FINISH PLANS (I-SHEETS) FOR LOCATIONS.
- 7. TOOTH-IN MASONRY AT NEW OPENINGS IN EXISTING WALLS.
- 8. TOOTH-IN NEW MASONRY INFILL INTO EXISTING OPENINGS AT ALL BULLNOSE BLOCK LOCATIONS.
- 9. STUD WALLS SPANNING OVER 12'-0" IN HEIGHT SHALL BE A MINIMUM OF
- 10. STUD WALL SUPPORTING WALL CABINETS SHALL BE A MINIMUM OF 20
- 11. DOORS ARE TO BE 4" FROM CORNER OF ROOM, UNLESS NOTED OR DIMENSIONED OTHERWISE.
- 12. FIRESTOP ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES AND CONCEALED WALL SPACES AT CEILING, FLOOR AND ROOF LEVELS.
- 13. FIRESEAL ALL PENETRATIONS, SUCH AS, PIPES, DUCTS, CONDUITS, ETC. THROUGH FIRE AND/OR SMOKE RATED ASSEMBLIES.
- 14. PAINT ALL ELECTRICAL PANEL COVERS AND ACCESS PANELS TO MATCH

ADJACENT FINISHES. USING OIL-BASED PAINT, NOT LATEX WALL PAINT.

- 15. PROVIDE WOOD BLOCKING IN WALLS THAT REQUIRE WALL MOUNTED EQUIPMENT OR ACCESSORIES. COORDINATE WITH EQUIPMENT OR ACCESSORY MANUFACTURER.
- 16. PROVIDE ALL ASSOCIATED CURBS FOR ROOF TOP EQUIPMENT AND MECHANICAL ROOF TOP UNITS. LARGE VOIDS BELOW THE AIR HANDLING UNITS SHALL BE FILLED WITH INSULATION AS SPECIFIED FOR NOISE CONTROL.
- 17. ALL EXISTING ROOF TOP PENETRATIONS BEING REMOVED REQUIRE ROOF PATCHING TO MATCH EXISTING ADJACENT.
- 18. ALL TOILET ROOM ACCESSORIES INCLUDING ALL REQUIRED GRAB BARS, SOAP DISPENSERS, MIRRORS, PAPER TOWEL DISPENSERS, SANITARY NAPKIN DISPOSALS, TOILET PAPER DISPENSERS, AND BABY CHANGING TABLES ARE TO BE CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED UNLESS NOTED OTHERWISE.

- 1. NOT ALL WALL TYPES MAY BE USED ON PROJECT.
- 2. REFER TO CODE COMPLIANCE PLANS FOR LOCATIONS OF SMOKE AND FIRE-RATED PARTITIONS.
- 3. ALL PARTITIONS EXTEND TO BOTTOM OF STRUCTURE, UNLESS NOTED OTHERWISE.
- 4. LINE OF STRUCTURE/DECK AS SHOWN AT THE HEAD CONDITION OF EACH PARTITION TYPE IS DIAGRAMMATIC ONLY AND DOES NOT INDICATE EXACT CONSTRUCTION CONDITIONS. TERMINATE RATED PARTITIONS AT UNDERSIDE OF STRUCTURAL DECK TO MAINTAIN RATING. PROVIDE APPROPRIATE FRAMING AND GYPSUM BOARD TO OFFSET AROUND STRUCTURE OR OTHER OBSTRUCTIONS, SUCH AS PIPING OR DUCTWORK.
- 5. PARTITIONS MAY TERMINATE AT STRUCTURAL MEMBERS WITH A RATING GREATER THAN OR EQUAL THE PARTITION, PROVIDED THAT RATING IS CONTINUOUS TO STRUCTURAL DECK ABOVE.
- 6. NON-RATED PARTITIONS THAT EXTEND TO STRUCTURE SHALL TERMINATE AT UNDERSIDE OF STRUCTURAL DECK TO MAINTAIN A CONTINUOUS PLANE OF GYPSUM BOARD AS A NOISE, SMOKE OR OTHER TYPE OF BARRIER.
- 7. ALL PARTITIONS EXTENDING TO STRUCTURE ABOVE SHALL TERMINATE WITH DEFLECTION TRACK - SEE TYPICAL DETAILS ON THIS SHEET.
- 8. ALL GYPSUM BOARD PARTITIONS NOT EXTENDING TO THE STRUCTURE MUST BE BRACED.
- 9. UL DESIGN NUMBERS REFER TO THE FIRE RESISTANCE DIRECTORY;

UNDERWRITERS LABORATORY, LATEST EDITION.

- 10. MISCELLANEOUS NON-RATED CHASES TO BE 5/8" GYPSUM BOARD ON 3 5/8" METAL STUD FRAMING AT 16" O.C., UNLESS NOTED OTHERWISE.
- 11. MISCELLANEOUS FURRING AROUND COLUMNS TO BE 5/8" GYPSUM BOARD ON 11/2" STUDS, UNLESS NOTED OTHERWISE.
- 12. FIRE-RATED PARTITIONS TO HAVE FIRE-STOPPING SEALANTS AT HEAD, SILL JUNCTURE WITH DISSIMILAR MATERIALS, ETC. AND AROUND ALL PENETRATIONS AND OPENINGS.
- 13. CONSTRUCT ALL PARTITIONS WITH SOUND ATTENUATION BATTS WITH THE FOLLOWING SOUND BATT THICKNESS: 2 1/2" OR LESS METAL STUD - 1 1/2" THICKNESS, 3 5/8" OR LARGER METAL STUD - 3" THICKNESS. UNLESS NOTED OTHERWISE.

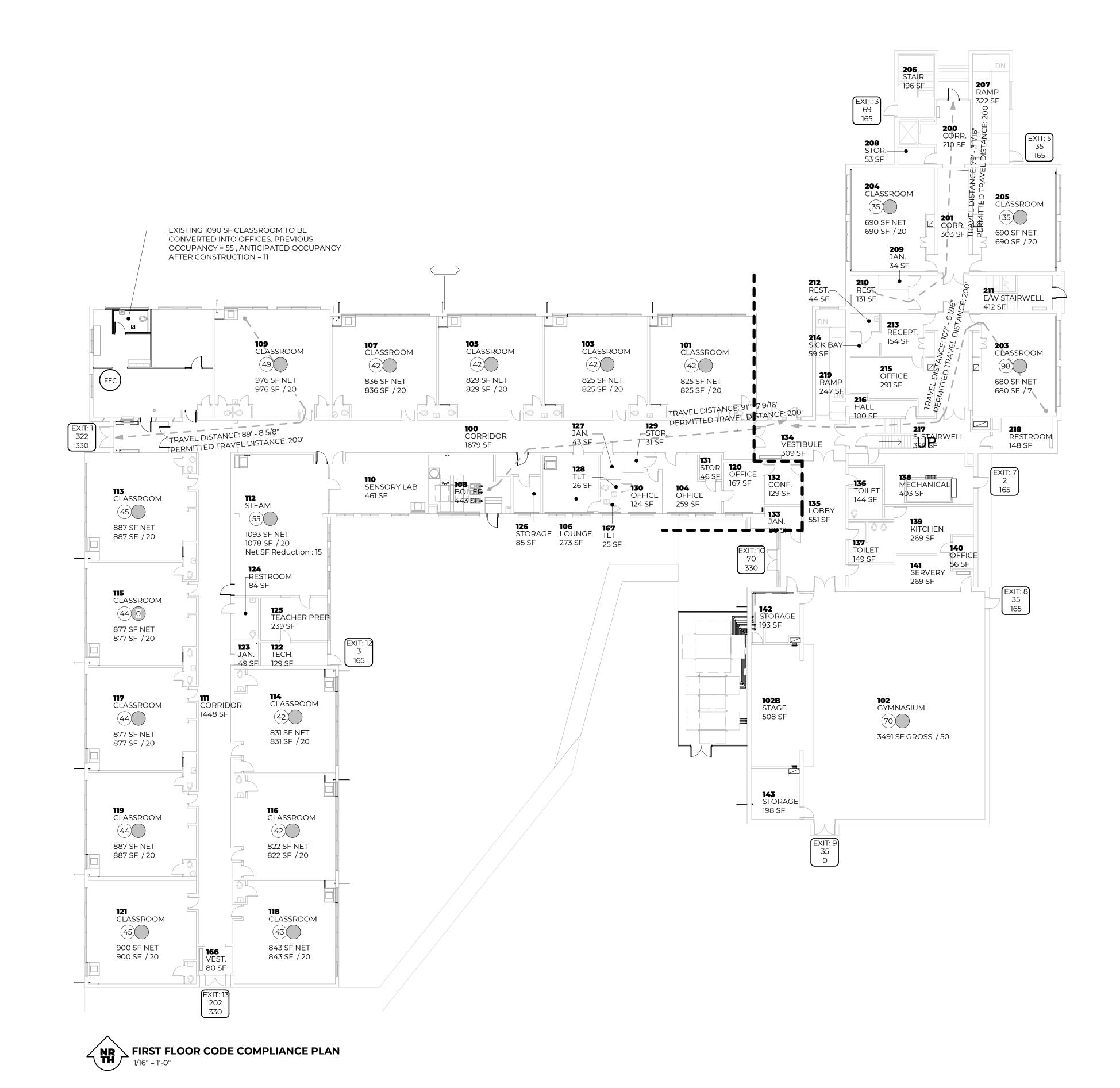
SHEET NAME	
COVER SHEET	
INDEX, NOTES, MOUNTING HEIGHTS, PART. TYPES AND ACCESSIBILITY REQS.	
FIRST AND SECOND FLOOR CODE COMPLIANCE PLANS	
SITE PLAN	
STRUCTURAL NOTES	ARCHITECTS
FOUNDATION PLAN - UNIT A	
ROOF FRAMING PLAN - UNIT A	
ROOF FRAMING PLAN - UNIT B	• • • • • • • • • • • • • • • • • • • •
FIRST FLOOR DEMOLITION PLAN - UNIT A	
DEMOLITION PLANS - UNIT B	

EVISION

SYM DATE **ISSUED FOR**

SHEET NAME INDEX, NOTES, MOUNTING HEIGHTS, PART. TYPES AND ACCESSIBILITY REQS.

03.08.2024





Allowable Number of Stories: 2 stories

1006.2.1

Table 1017.2

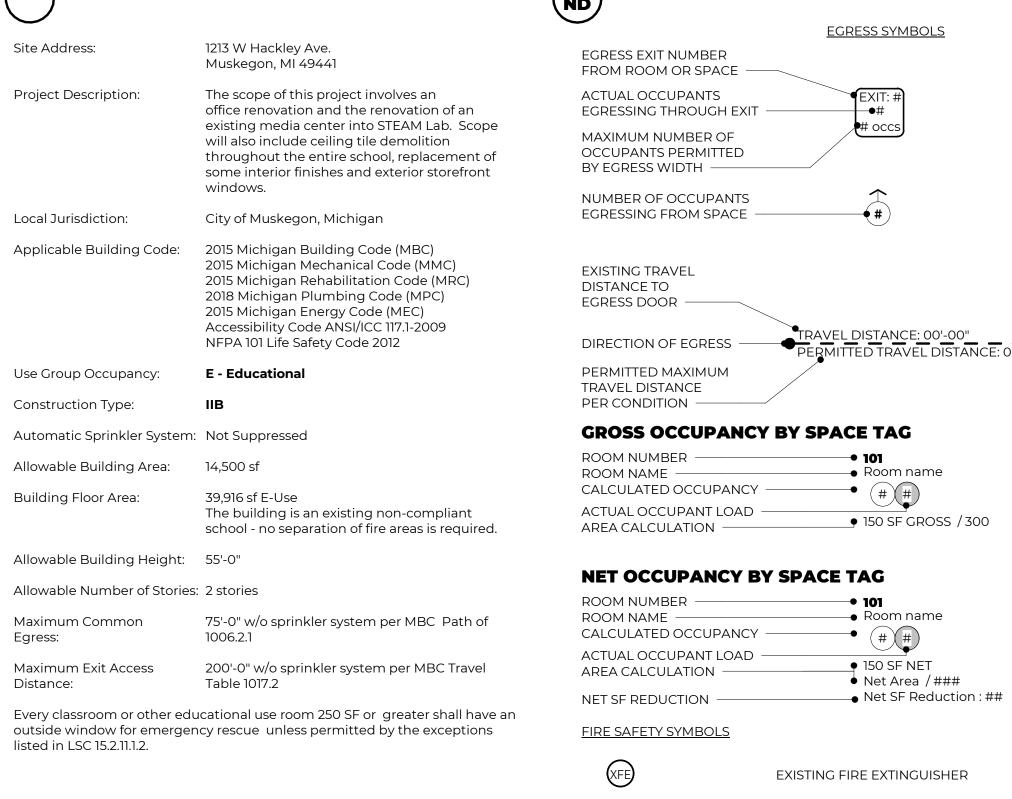
Maximum Common

Maximum Exit Access

listed in LSC 15.2.11.1.2.

Egress:

Distance:



FIRE-RATING KEY

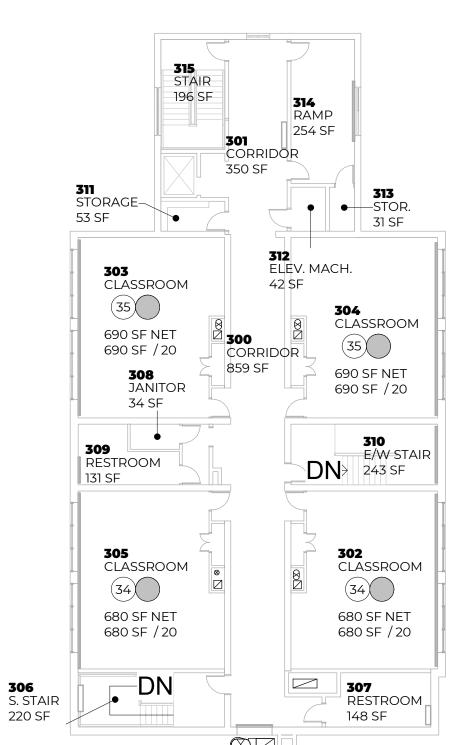
FIRE EXTINGUISHER

FIRE EXTINGUISHER CABINET

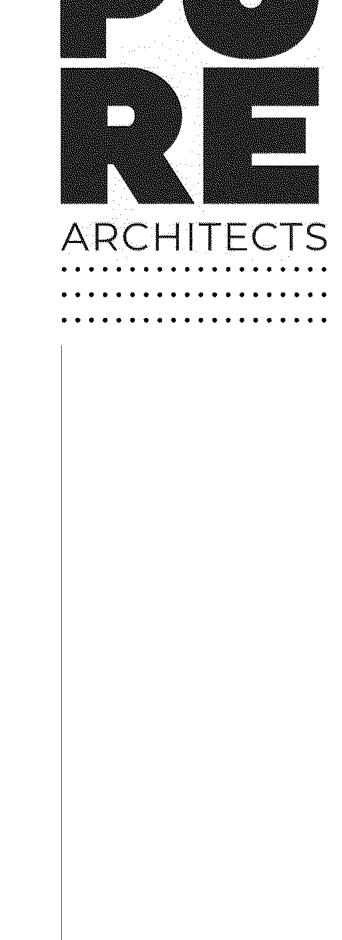
EXISTING FIRE EXTINGUISHER CABINET

PARTITION SYMBOL	PARTITION RATING	RATING PRIORITY
	3 HOUR	01
	2 HOUR FIRE/SMOKE	02
	2 HOUR	03
	1 HOUR FIRE/SMOKE	04
	1HOUR	05
	SMOKE RESISTANT	06

- 1. LIGHTER LINES SHOWN ABOVE INDICATE EXISTING FIRE RATED WALLS.
- 2. ALL PENETRATIONS THROUGH A FIRE OR SMOKE RATED PARTITION SHOULD BE SEALED WITH AN APPROVED U.L. RATED PRODUCT.
- 3. THE TOPS OF ALL FIRE RATED PARTITIONS SHALL BE SEALED TO THE CONTINUOUS STRUCTURE ABOVE WITH A U.L. RATED SYSTEM OR ASSEMBLY.
- 4. WOOD BLOCKING IN FIRE-RATED PARTITIONS SHALL BE OF NON-COMBUSTIBLE TREATED WOOD.
- 5. REFER TO SPECIFICATION FOR U.L. RATING INFORMATION.
- 6. FIRE-RATED WALLS ENDING INTO AN ACOUSTICAL DECK MUST HAVE THE FLUTES FILLED, REFER TO 'TOP OF WALL DETAIL AT ACOUSTIC DECK' SHOWN ON THIS SHEET. • FOR MASONRY WALLS THE MASON SHALL FILL VOIDS AND FIRE
- SPRAY WITH UL LISTED MATERIAL. • FOR STUD WALLS USE FIRE SAFING AND FIRE CAULK.







03.08.2024 FIRST AND SECOND FLOOR CODE COMPLIANCE PLANS

G101

SYMBOL LEGEND

MILL & FILL ASPHALT PAVEMENT 1.5" DEPTH CRACK SEAL & FILL ASPHALT PAVEMENT 4" THICK CONCRETE SIDEWALK

PARKING SPACE COUNT

PAVEMENT CORES

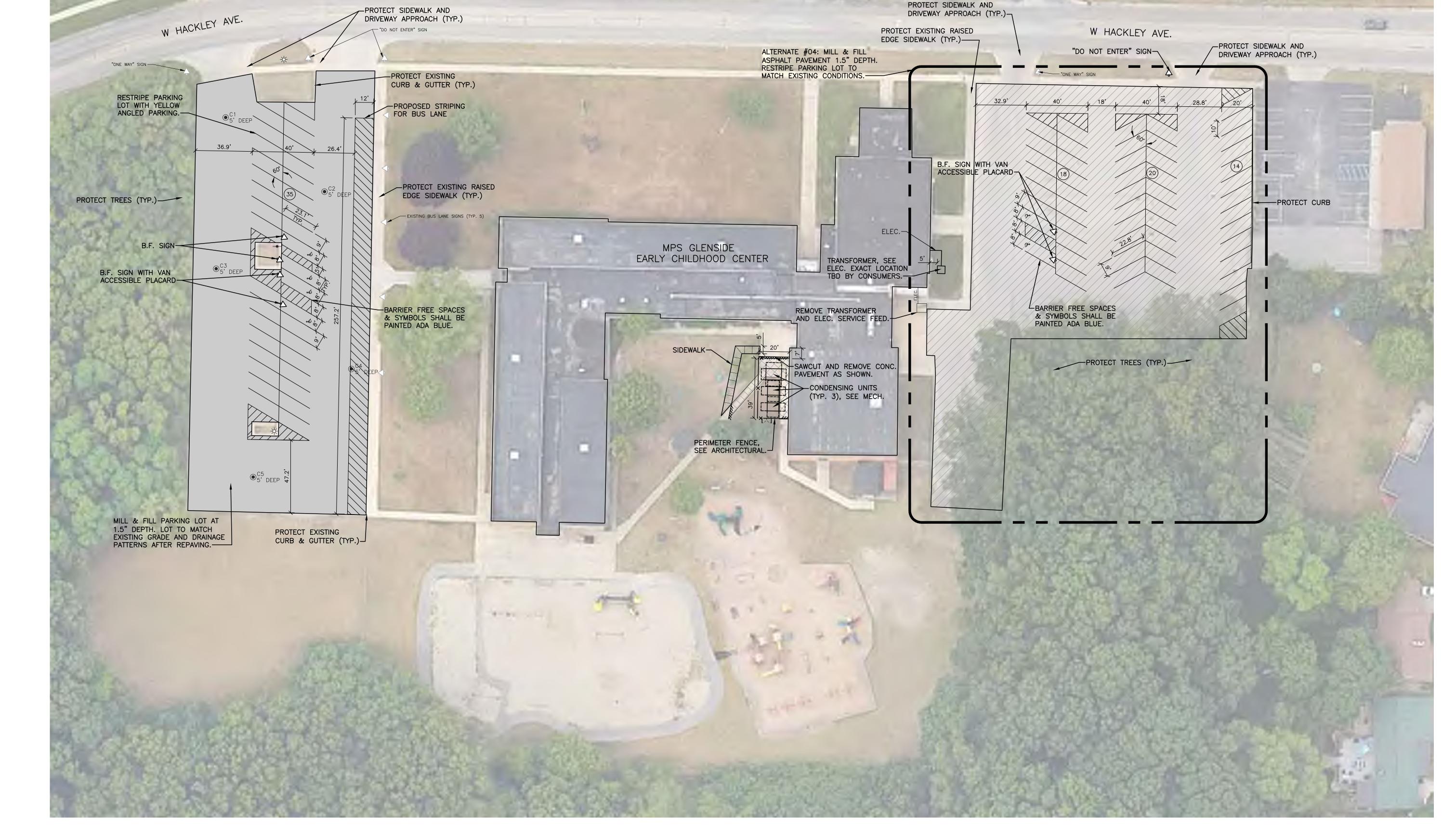
- 1. DRAWING INFORMATION IS COMPILED FROM GIS & AERIAL IMAGERY. FIELD VERIFY CRITICAL ELEVATIONS & TIE IN POINTS
- 2. DIMENSIONS ARE TO BACK OF CURB, OUTSIDE FACE OF BUILDING, AND EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
- KEEP THE APPROVED AND/OR MOST CURRENT SET OF PROJECT DRAWINGS ON SITE AT ALL TIMES. CONTRACTOR TO CONFIRM THEY ARE IN POSSESSION OF THE MOST CURRENT DRAWING FILES.
- 4. PROTECT EXISTING VALVE BOXES, CASTINGS, AND EXISTING GROUND STRUCTURES.
- RESTORE ALL DISTURBED SOIL TO MATCH EXISTING CONDITIONS.
- 6. RESULTS OF PAVEMENT CORES ARE TO BE DETERMINED AT
- 7. REFER TO ARCHITECTURAL FOR ENCLOSURE MATERIAL AND

PARKING QUANTITIES

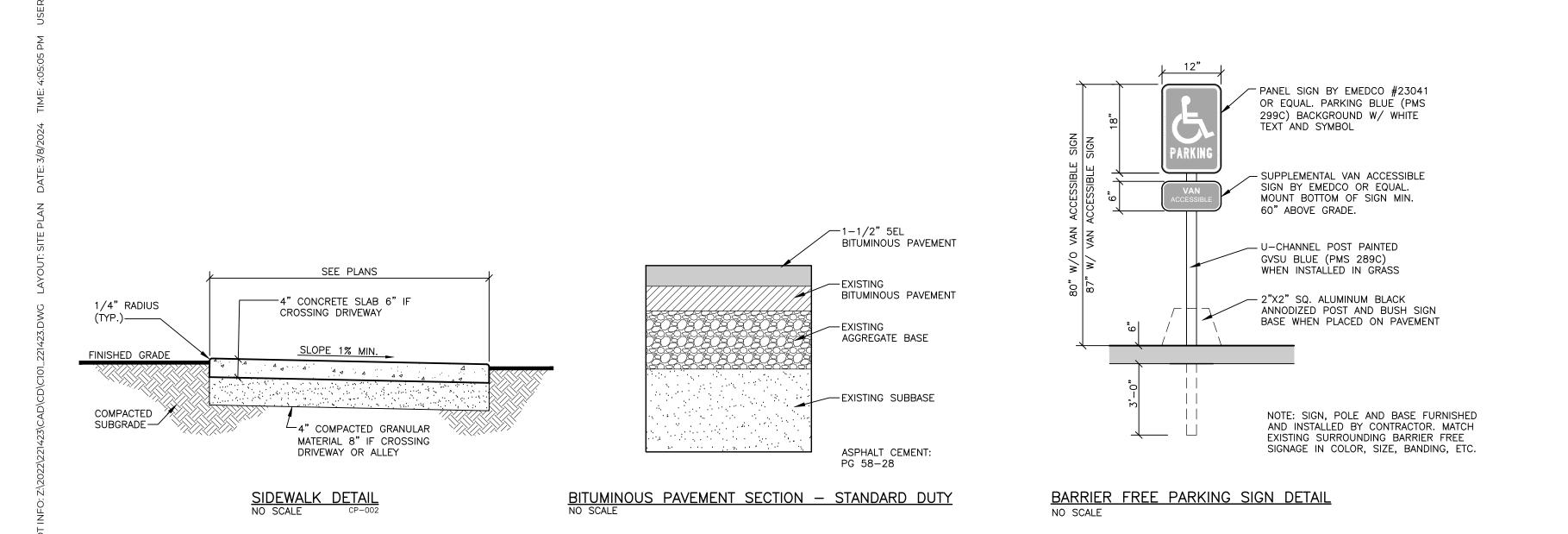
PROVIDED PARKING: 81 ON-SITE STANDARD SPACES

6 BARRIER FREE SPACES

87 TOTAL SPACES







SYM DATE ISSUED FOR 3/7/2024 SITE PLAN

NR FIRST FLOOR DEMOLITION PLAN - UNIT A



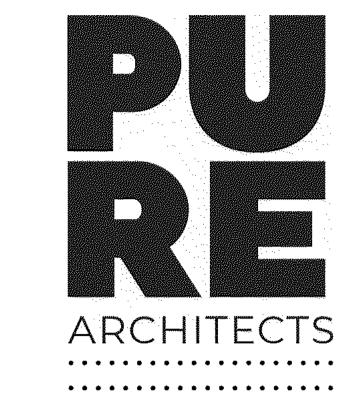
DISCREPANCIES.

- CONTRACTORS ARE REQUIRED TO INSPECT/REVIEW THE EXISTING BUILDING PRIOR TO RELATED DEMOLITION WORK. UNLESS NOTED OTHERWISE, REMOVAL OF ANY WALL, FLOOR OR CEILING INCLUDES ALL GENERAL MECHANICAL AND ELECTRICAL ITEMS WHICH ARE A PART OF, OR ATTACHED TO IT.
- 2. CONTRACTOR SHALL VERIFY ALL EXISTING JOB SITE CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. ADVISE ARCHITECT OF ANY AND ALL
- 3. PATCH FLOORS, WALLS AND CEILINGS DAMAGED DURING CONSTRUCTION AND DEMOLITION AS REQUIRED. FINISH TO MATCH EXISTING.
- 4. ACCOMMODATE NEW CONSTRUCTION IF NOT INDICATED.
- 5. PROTECT ALL EXISTING FINISHES THROUGHOUT PROJECT.
- 6. REFER TO DEMOLITION ELEVATIONS, SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION.
- REFER TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL PLANS FOR ADDITIONAL DEMOLITION NOTES.
- 8. SALVAGE ALL UNISTRUT AND PROTECT FOR RE-USE IN NEW
- AT LOCATIONS OF REMOVED WALLS, ALL ASSOCIATED ITEMS ATTACHED TO THE WALL ARE TO BE REMOVED. SUCH AS: DOORS, WINDOWS, FRAMES, MARKERBOARDS, TACKBOARDS, TACK STRIPS, ETC.

DEMOLITION KEYED NOTES

CONSTRUCTION, IF REQUIRED.

- 1 REMOVE EXISTING DOOR, FRAME, HARDWARE, AND ANY
- 2 REMOVE EXISTING WALL AND ANY ITEMS ATTA
- 2 REMOVE EXISTING WALL AND ANY ITEMS ATTACHED.3 REMOVE PORTION OF EXISTING WALL FOR NEW
- OPENING COORDINATE WITH NEW WORK. CONSERVE BRICK FOR TOOTHING IN OF DOORS AROUND OPENINGS.
- 4 REMOVE EXISTING PLUMBING FIXTURES. CAP LINES AS REQUIRED. COORDINATE WITH NEW WORK.
- 5A BASE BID REMOVE PORTION OF EXISTING CLADDING INFILL. EXISTING ROUGH OPENING TO REMAIN. COORDINATE WITH NEW WORK.
- 5B ALTERNATE 01 REMOVE EXISTING WINDOW, METAL STUD, AND CLADDING INFILL. EXISTING ROUGH OPENING TO REMAIN. COORDINATE WITH NEW WORK OF ALTERNATE #01.
- 5C ALTERNATE 02 REMOVE EXISTING WINDOW, METAL STUD, AND CLADDING INFILL. EXISTING ROUGH OPENING TO REMAIN. COORDINATE WITH NEW WORK OF ALTERNATE #02.
- 6 REMOVE EXISTING HORIZONTAL UNIT VENTILATOR. COORDINATE WITH MECHANICAL DRAWINGS AND PREP FOR NEW WOR K
- 7 SCRAPE PAINT AND PREP FOR NEW.
- 8 REMOVE CEILING AND GRID.
- 9 REFER TO INTERIOR DRAWINGS FOR SCOPE OF REMOVAL AND REPLACEMENT AT CLASSROOM RESTROOMS
- 10 REMOVE WOOD PANELING PATCH AND REPAIR WALL AS NEEDED.
- 11 REMOVE FLOORING. PREP FOR NEW.
- 12 REMOVE FLOORING AND BASE, PREP FOR NEW.
- 13 SAWCUT FLOOR FOR INSTALLATION OF BURRIED PLUMBING
- 14 REMOVE RETURN LOUVER
- 15 DEMO EXISTING CASEWORK, PATCH AND REPAIR FOR NEW WORK. BULKHEAD TO REMAIN.



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MUSKEGON PUBLIC SCHOOLS

CVAA DATE ICCUED FO

ISSUE DATE

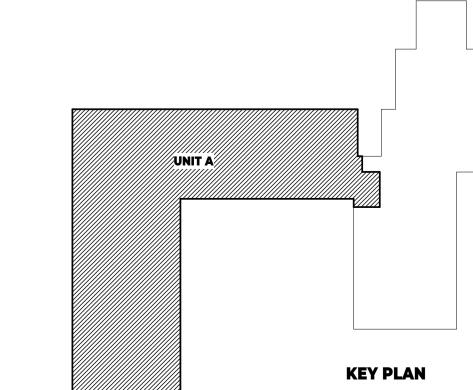
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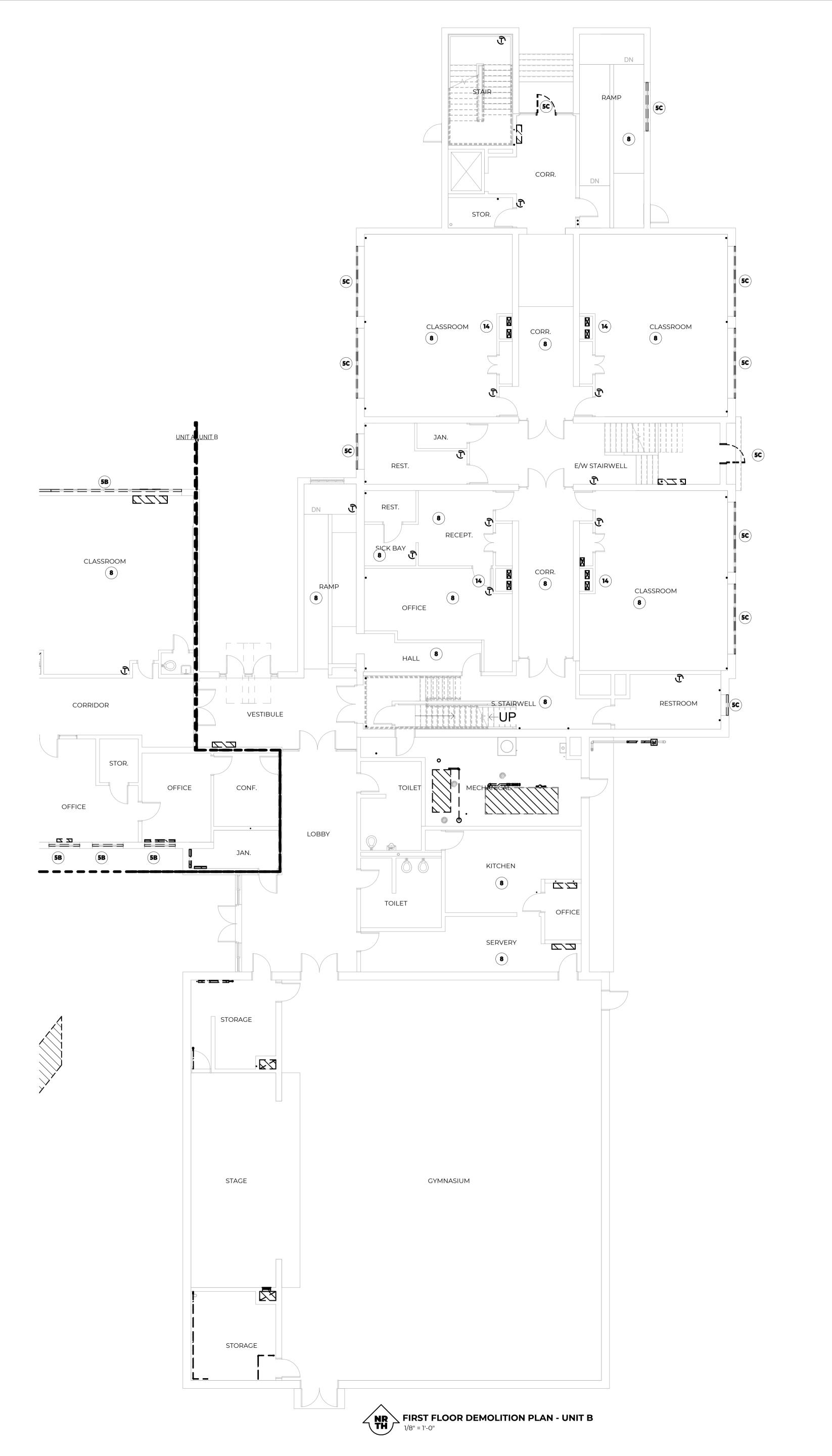
FIRST FLOOR

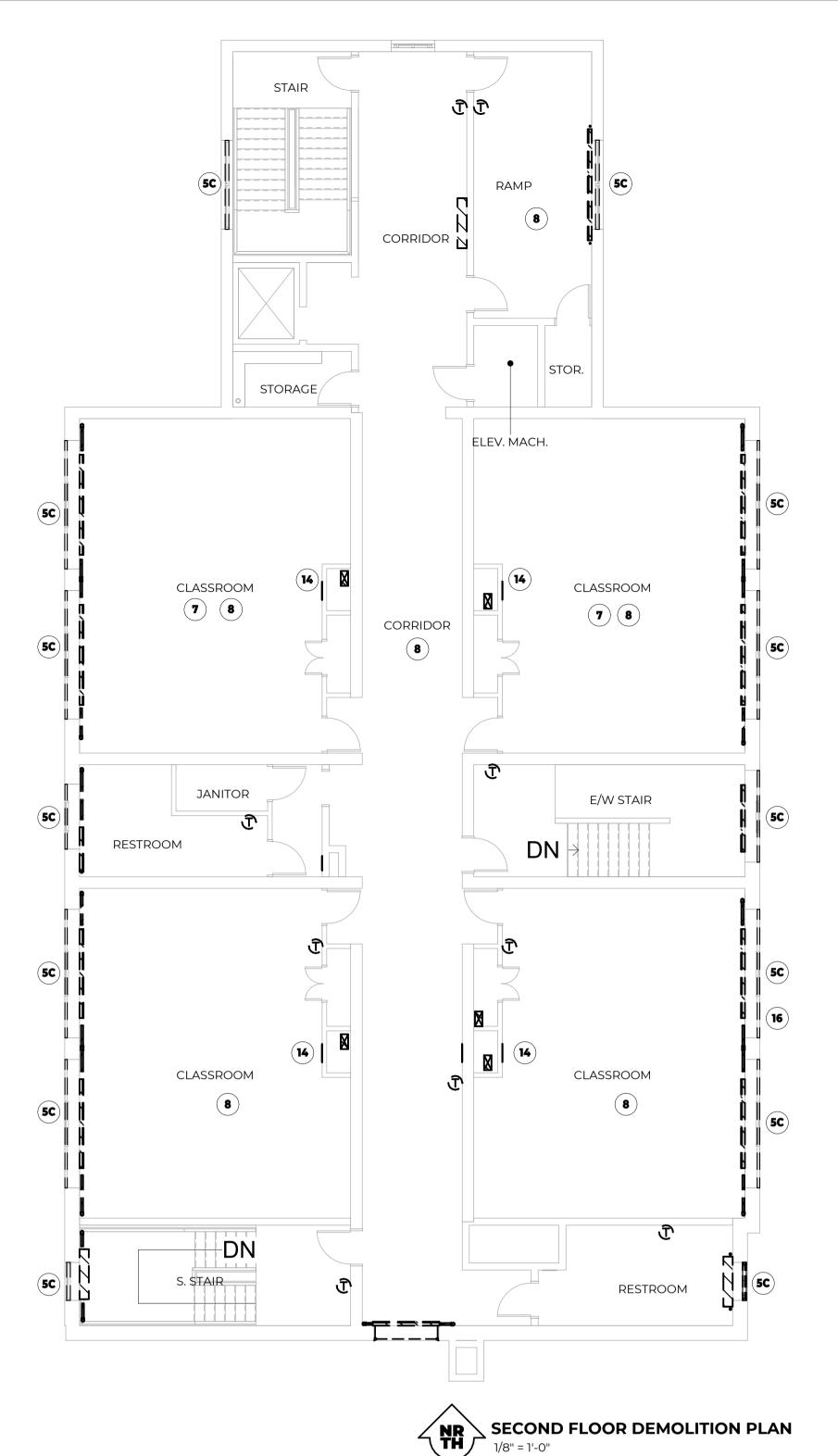
DEMOLITION PLAN

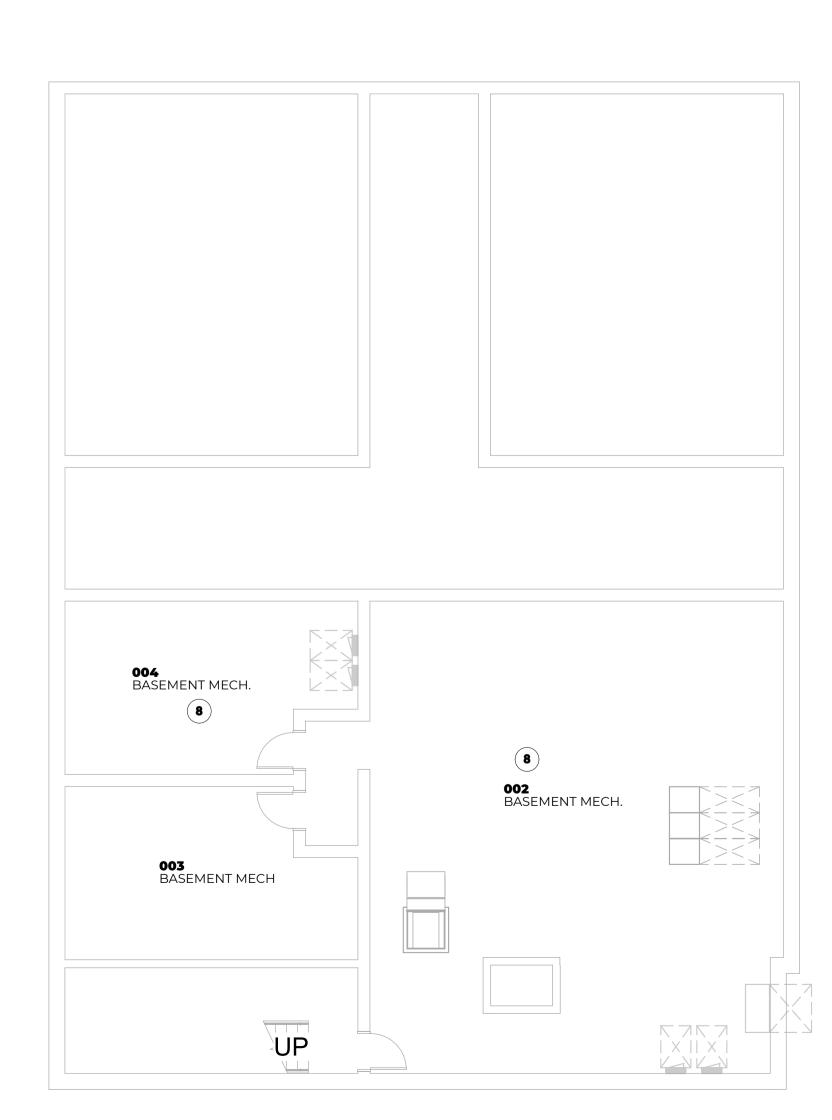


UNIT A













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- DISCREPANCIES. 3. PATCH FLOORS, WALLS AND CEILINGS DAMAGED DURING CONSTRUCTION AND DEMOLITION AS REQUIRED. FINISH TO MATCH EXISTING.

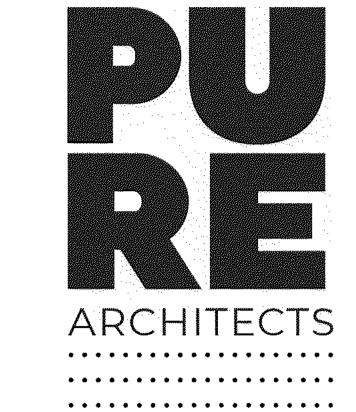
THE SAME. ADVISE ARCHITECT OF ANY AND ALL

- 4. ACCOMMODATE NEW CONSTRUCTION IF NOT INDICATED.
- 5. PROTECT ALL EXISTING FINISHES THROUGHOUT PROJECT.
- 6. REFER TO DEMOLITION ELEVATIONS, SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION.
- 7. REFER TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL PLANS FOR ADDITIONAL DEMOLITION NOTES.
- 8. SALVAGE ALL UNISTRUT AND PROTECT FOR RE-USE IN NEW CONSTRUCTION, IF REQUIRED.
- 9. AT LOCATIONS OF REMOVED WALLS, ALL ASSOCIATED ITEMS ATTACHED TO THE WALL ARE TO BE REMOVED. SUCH AS: DOORS, WINDOWS, FRAMES, MARKERBOARDS, TACKBOARDS, TACK STRIPS, ETC.

- DEMOLITION KEYED NOTES

 TE

 REMOVE EXISTING DOOR, FRAME, HAR REMOVE EXISTING DOOR, FRAME, HARDWARE, AND ANY
 - 2 REMOVE EXISTING WALL AND ANY ITEMS ATTACHED.
 - 3 REMOVE PORTION OF EXISTING WALL FOR NEW
 - OPENING COORDINATE WITH NEW WORK. CONSERVE BRICK FOR TOOTHING IN OF DOORS AROUND OPENINGS.
- 4 REMOVE EXISTING PLUMBING FIXTURES. CAP LINES AS REQUIRED. COORDINATE WITH NEW WORK.
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- 5C ALTERNATE 02 REMOVE EXISTING WINDOW, METAL STUD, AND CLADDING INFILL. EXISTING ROUGH OPENING TO REMAIN. COORDINATE WITH NEW WORK OF ALTERNATE #02.
- 6 REMOVE EXISTING HORIZONTAL UNIT VENTILATOR. COORDINATE WITH MECHANICAL DRAWINGS AND PREP FOR NEW WORK
- 7 SCRAPE PAINT AND PREP FOR NEW. 8 REMOVE CEILING AND GRID.
- 9 REFER TO INTERIOR DRAWINGS FOR SCOPE OF REMOVAL AND REPLACEMENT AT CLASSROOM **RESTROOMS**
- 10 REMOVE WOOD PANELING PATCH AND REPAIR WALL AS NEEDED.
- 11 REMOVE FLOORING. PREP FOR NEW.
- 12 REMOVE FLOORING AND BASE. PREP FOR NEW. 13 SAWCUT FLOOR FOR INSTALLATION OF BURRIED
- PLUMBING 14 REMOVE RETURN LOUVER
- 15 DEMO EXISTING CASEWORK, PATCH AND REPAIR FOR NEW WORK. BULKHEAD TO REMAIN.

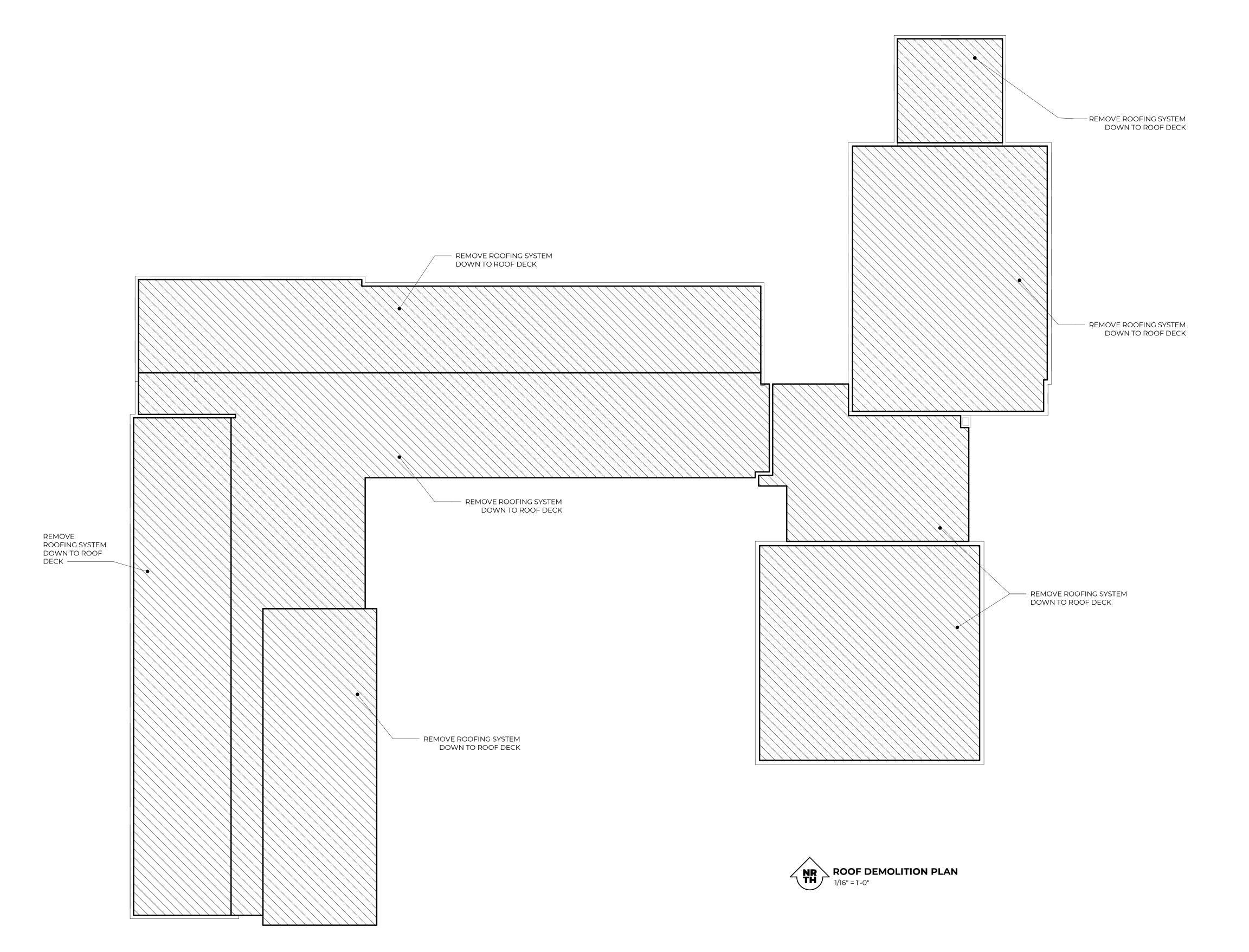


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03.08.2024

DEMOLITION PLANS -UNIT B



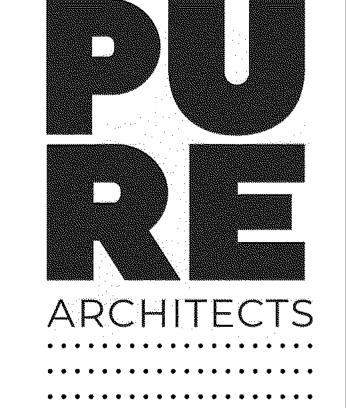




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- PATCH FLOORS, WALLS AND CEILINGS DAMAGED DURING CONSTRUCTION AND DEMOLITION AS REQUIRED. FINISH TO MATCH EXISTING.
- 4. ACCOMMODATE NEW CONSTRUCTION IF NOT INDICATED.
- 5. PROTECT ALL EXISTING FINISHES THROUGHOUT PROJECT.
- 6. REFER TO DEMOLITION ELEVATIONS, SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION.
- REFER TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL PLANS FOR ADDITIONAL DEMOLITION NOTES.
- 8. SALVAGE ALL UNISTRUT AND PROTECT FOR RE-USE IN NEW

CONSTRUCTION, IF REQUIRED.

 AT LOCATIONS OF REMOVED WALLS, ALL ASSOCIATED ITEMS ATTACHED TO THE WALL ARE TO BE REMOVED. SUCH AS: DOORS, WINDOWS, FRAMES, MARKERBOARDS, TACKBOARDS, TACK STRIPS, ETC.



MPS GLENSIDE

MUSKEGON PUBLIC SCHOOLS

213 W Hackley Ave Mijskegon MI 49441

UNIT B

KEY PLAN

UNIT A

SYM DATE

03.08.2024

ROOF DEMOLITION PLAN



DISCREPANCIES.

- CONTRACTORS ARE REQUIRED TO INSPECT/REVIEW THE EXISTING BUILDING PRIOR TO RELATED DEMOLITION WORK. UNLESS NOTED OTHERWISE, REMOVAL OF ANY WALL, FLOOR OR CEILING INCLUDES ALL GENERAL MECHANICAL AND ELECTRICAL ITEMS WHICH ARE A PART OF, OR ATTACHED TO
- 2. CONTRACTOR SHALL VERIFY ALL EXISTING JOB SITE CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. ADVISE ARCHITECT OF ANY AND ALL
- 3. PATCH FLOORS, WALLS AND CEILINGS DAMAGED DURING CONSTRUCTION AND DEMOLITION AS REQUIRED. FINISH TO MATCH EXISTING.
- 4. ACCOMMODATE NEW CONSTRUCTION IF NOT INDICATED.
- 5. PROTECT ALL EXISTING FINISHES THROUGHOUT PROJECT.
- 6. REFER TO DEMOLITION ELEVATIONS, SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION.
- 7. REFER TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL PLANS FOR ADDITIONAL DEMOLITION NOTES.
- 8. SALVAGE ALL UNISTRUT AND PROTECT FOR RE-USE IN NEW CONSTRUCTION, IF REQUIRED.
- 9. AT LOCATIONS OF REMOVED WALLS, ALL ASSOCIATED ITEMS ATTACHED TO THE WALL ARE TO BE REMOVED. SUCH AS: DOORS, WINDOWS, FRAMES, MARKERBOARDS, TACKBOARDS, TACK STRIPS, ETC.

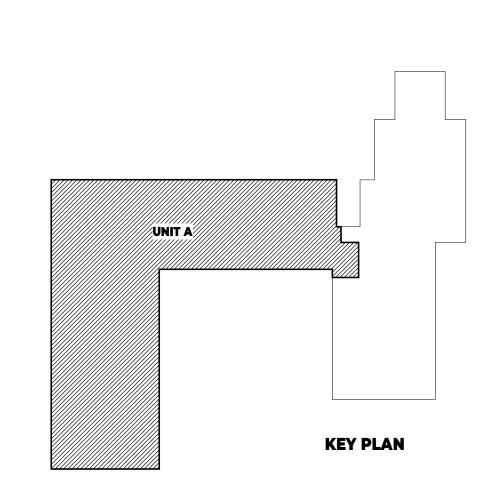


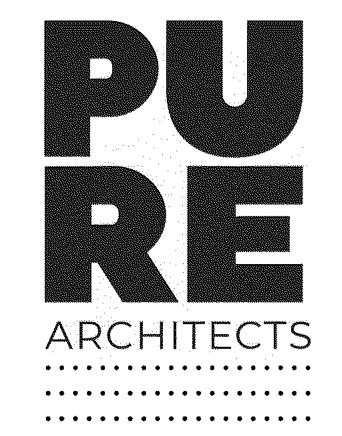
- REMOVE EXISTING DOOR, FRAME, HARDWARE, AND ANY WOOD TRIM.
- 2 REMOVE EXISTING WALL AND ANY ITEMS ATTACHED. 3 REMOVE PORTION OF EXISTING WALL FOR NEW OPENING - COORDINATE WITH NEW WORK. CONSERVE BRICK FOR TOOTHING IN OF DOORS AROUND
- 4 REMOVE EXISTING PLUMBING FIXTURES. CAP LINES AS REQUIRED. COORDINATE WITH NEW WORK.
- 5A BASE BID REMOVE PORTION OF EXISTING CLADDING INFILL. EXISTING ROUGH OPENING TO REMAIN. COORDINATE WITH NEW WORK.
- 5B ALTERNATE 01 REMOVE EXISTING WINDOW, METAL STUD, AND CLADDING INFILL. EXISTING ROUGH OPENING TO REMAIN. COORDINATE WITH NEW WORK OF ALTERNATE #01.
- 6 REMOVE EXISTING HORIZONTAL UNIT VENTILATOR. COORDINATE WITH MECHANICAL DRAWINGS AND PREP FOR NEW WORK
- 7 SCRAPE PAINT AND PREP FOR NEW.
- 8 REMOVE CEILING AND GRID.
- 9 REFER TO INTERIOR DRAWINGS FOR SCOPE OF REMOVAL AND REPLACEMENT AT CLASSROOM RESTROOMS
- 10 REMOVE WOOD PANELING PATCH AND REPAIR WALL

REFLECTED CEILING DEMOLITION LEGEND 12 REMOVE FLOORING AND BASE. PREP FOR NEW.

- 13 SAKUTELANDURAN AUGUSTALANGAN SAKUTELANGAN AUGUSTA 14 AUGUSTA 14
- 14 REMOVE RETURN LOUVER 35 BEFERENSMEGHANEWORKUMBING AND STEPLAND FOR ORTECHNOLOGY DRAWINGS FOR REMOVAL OF EXISTING DEVICES, DIFFUSERS, LICHTING, ETC.
- AND OTHER WORK RELATED TO DEMOLITION. 3. CONTRACTOR TO COORDINATE AND REMOVE
- ADDITIONAL CEILINGS AS REQUIRED TO INSTALL NEW PARTITIONS.

CEILING TO BE REMOVED.



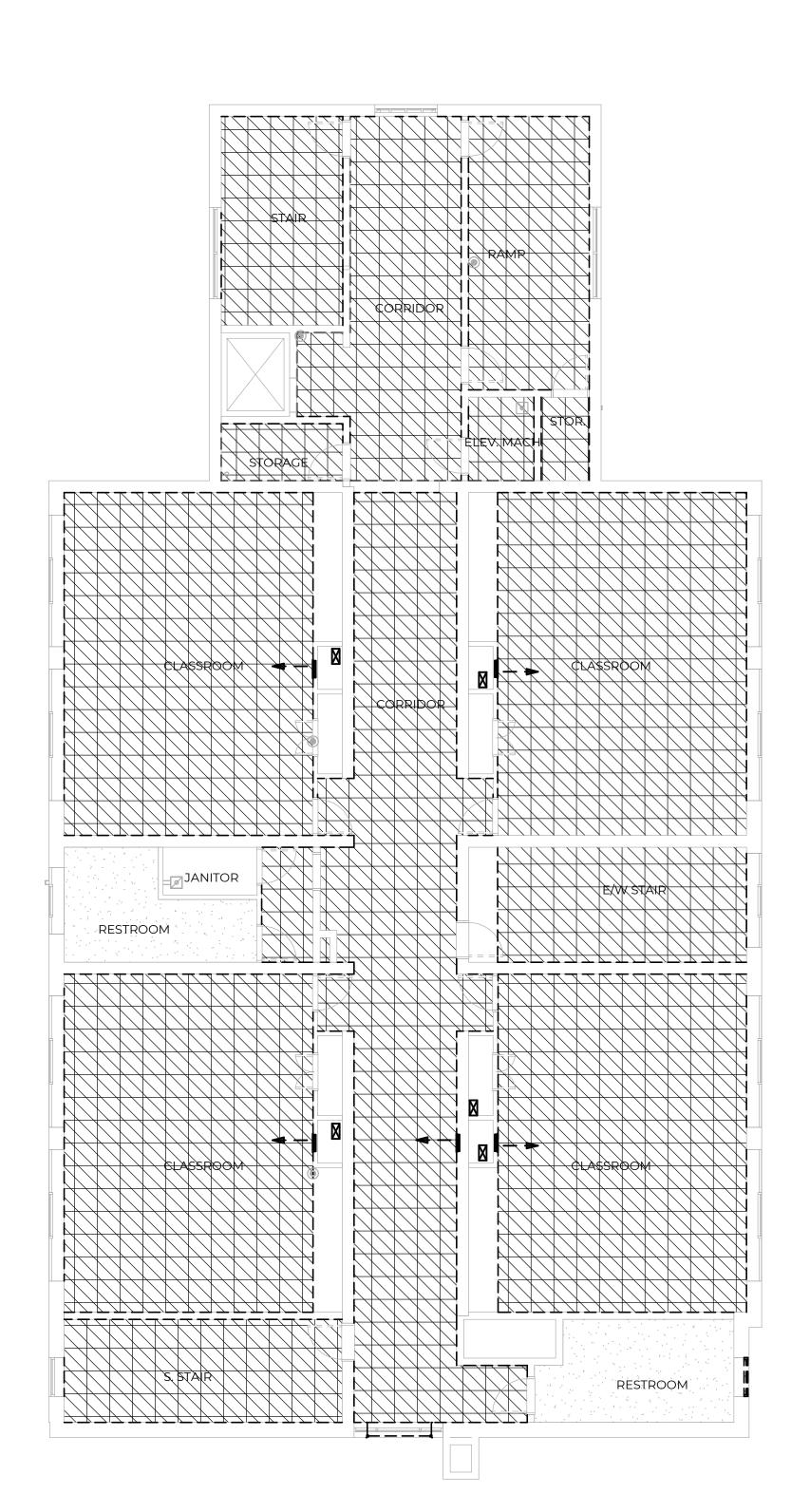


SYM DATE **ISSUED FOR** 03.08.2024

SHEET NAME FIRST FLOOR REFLECTED CEILING DEMOLITION PLAN -UNIT A



CLASSROOM







- CONTRACTORS ARE REQUIRED TO INSPECT/REVIEW THE EXISTING BUILDING PRIOR TO RELATED DEMOLITION WORK. UNLESS NOTED OTHERWISE, REMOVAL OF ANY WALL, FLOOR OR CEILING INCLUDES ALL GENERAL MECHANICAL AND ELECTRICAL ITEMS WHICH ARE A PART OF, OR ATTACHED TO
- 2. CONTRACTOR SHALL VERIFY ALL EXISTING JOB SITE CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. ADVISE ARCHITECT OF ANY AND ALL DISCREPANCIES.
- 3. PATCH FLOORS, WALLS AND CEILINGS DAMAGED DURING CONSTRUCTION AND DEMOLITION AS REQUIRED. FINISH TO MATCH EXISTING.
- 4. ACCOMMODATE NEW CONSTRUCTION IF NOT INDICATED.
- 5. PROTECT ALL EXISTING FINISHES THROUGHOUT PROJECT.
- 6. REFER TO DEMOLITION ELEVATIONS, SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION.
- 7. REFER TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL PLANS FOR ADDITIONAL DEMOLITION NOTES.
- 8. SALVAGE ALL UNISTRUT AND PROTECT FOR RE-USE IN NEW
- 9. AT LOCATIONS OF REMOVED WALLS, ALL ASSOCIATED ITEMS ATTACHED TO THE WALL ARE TO BE REMOVED. SUCH AS: DOORS, WINDOWS, FRAMES, MARKERBOARDS, TACKBOARDS, TACK STRIPS, ETC.



CONSTRUCTION, IF REQUIRED.

- REMOVE EXISTING DOOR, FRAME, HARDWARE, AND ANY WOOD TRIM.
- 2 REMOVE EXISTING WALL AND ANY ITEMS ATTACHED. 3 REMOVE PORTION OF EXISTING WALL FOR NEW OPENING - COORDINATE WITH NEW WORK. CONSERVE BRICK FOR TOOTHING IN OF DOORS AROUND OPENINGS.
- 4 REMOVE EXISTING PLUMBING FIXTURES. CAP LINES AS REQUIRED. COORDINATE WITH NEW WORK.
- 5A BASE BID REMOVE PORTION OF EXISTING CLADDING INFILL. EXISTING ROUGH OPENING TO REMAIN.
- COORDINATE WITH NEW WORK. 5B ALTERNATE 01 - REMOVE EXISTING WINDOW, METAL STUD, AND CLADDING INFILL. EXISTING ROUGH OPENING TO REMAIN. COORDINATE WITH NEW WORK OF ALTERNATE #01.
- 6 REMOVE EXISTING HORIZONTAL UNIT VENTILATOR. COORDINATE WITH MECHANICAL DRAWINGS AND PREP FOR NEW WORK
- 7 SCRAPE PAINT AND PREP FOR NEW.
- 8 REMOVE CEILING AND GRID.
- 9 REFER TO INTERIOR DRAWINGS FOR SCOPE OF REMOVAL AND REPLACEMENT AT CLASSROOM RESTROOMS
- AS NEEDED.

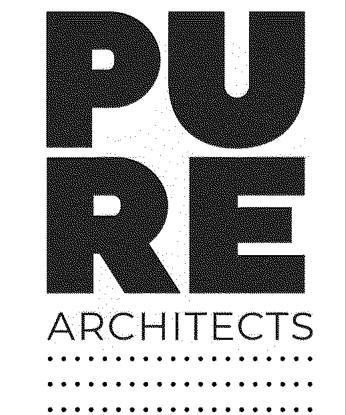
10 REMOVE WOOD PANELING - PATCH AND REPAIR WALL

- 11 REMOVE FLOORING. PREP FOR NEW.
- 12 REMOVE FLOORING AND BASE. PREP FOR NEW. 13 SAWCUT FLOOR FOR INSTALLATION OF BURRIED
- PLUMBING
- 14 REMOVE RETURN LOUVER 15 DEMO EXISTING CASEWORK, PATCH AND REPAIR FOR NEW WORK. BULKHEAD TO REMAIN.

REFLECTED CEILING DEMOLITION LEGEND

- 1. CEILINGS WITH HATCH ARE TO BE REMOVED IN ITS ENTIRETY.
- 2. REFER TO MECHANICAL, PLUMBING, ELECTRICAL OR TECHNOLOGY DRAWINGS FOR REMOVAL OF EXISTING DEVICES, DIFFUSERS, LIGHTING, ETC. AND OTHER WORK RELATED TO DEMOLITION.
- 3. CONTRACTOR TO COORDINATE AND REMOVE ADDITIONAL CEILINGS AS REQUIRED TO INSTALL NEW PARTITIONS.





SYM DATE **ISSUED FOR**

03.08.2024 SHEET NAME AND 2ND FLOOR REFLECTED CEILING

DEMOLITION PLAN -

UNIT B

UNIT B

KEY PLAN

STRUCTURAL NOTES

STRUCTURAL LOADS

BUILDING CODE: MICHIGAN RESIDENTIAL CODE 2015

MICHIGAN BUILDING CODE 2015 STRUCTURAL DESIGN CODES AND STANDARDS:

DESIGN LOADS STEEL AISC 360-10 CONCRETE ACI 318-14 MASONRY TMS402-13/ACI 530-13 WOOD ANSI/AWC NDS-15

COLD FORMED STEEL BUILDING RISK CATEGORY

> DIRECTIONALITY FACTOR GUST EFFECT FACTOR

DESIGN LOADS: ULTIMATE DESIGN WIND SPEED Vult = 115 MPH NOMINAL DESIGN WIND SPEED Vasd = 89 MPH EXPOSURE CATEGORY

INTERNAL PRESSURE COEFFICIENT ± 0.18 TOPOGRAPHIC FACTOR Kzt = 1.0

- 1. ADDITIONAL ENGINEERING EFFORT TO BRING BUILT CONDITIONS TO COMPLIANCE WITH STRUCTURAL DRAWINGS MAY RESULT IN
- THESE NOTES SUPPLEMENT THE PROJECT SPECIFICATIONS, SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS. CROSS CHECK ALL DIMENSIONS AND ELEVATIONS INDICATED. REPORT DISCREPANCIES FOR CLARIFICATION PRIOR TO STARTING CONSTRUCTION OR ORDERING MATERIALS. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT INDICATED ON THE STRUCTURAL DRAWINGS. DO NOT SCALE THESE DRAWINGS.

AISI S100-12

Kd = 0.85

G = 0.85

- DIMENSIONS AND ELEVATIONS OF EXISTING CONSTRUCTION INDICATED ARE APPROXIMATE AND FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. REPORT DISCREPANCIES PRIOR TO STARTING CONSTRUCTION OR ORDERING MATERIALS.
- IN THE CASE OF A CONFLICT WITHIN THE CONTRACT DOCUMENTS, INCLUDING DRAWINGS AND SPECIFICATIONS, THE MOST STRINGENT REQUIREMENTS WILL GOVERN.
- 7. REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, CIVIL, AND FOOD SERVICE DRAWINGS FOR SIZE AND LOCATION OF OPENINGS, SLEEVES, CONCRETE HOUSEKEEPING PADS, INSERTS, EMBEDDED ITEMS, CURBS, RAMPS, DRAINS, DEPRESSIONS, ETC. NOTIFY STRUCTURAL ENGINEER OF ANY DISCREPANCIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR MASONRY AND DRYWALL NON-LOADBEARING PARTITIONS. PROVIDE SLIP CONNECTIONS THAT ALLOW VERTICAL MOVEMENT AT THE HEADS OF SUCH PARTITIONS. CONNECTIONS SHALL SUPPORT THE TOP OF THE WALLS LATERALLY FOR THE CODE REQUIRED LATERAL LOAD. 10. REPRODUCTION OF THE STRUCTURAL DRAWINGS FOR SUBMISSION AS SHOP DRAWINGS IS PROHIBITED. SUBMITTALS PRODUCED
- IN THIS MANNER WILL BE REJECTED. 13. CONTRACTOR TO PROVIDE A SUBMITTAL FOR ENGINEER REVIEW FOR THE FOLLOWING:
- CONCRETE MIX CONCRETE REINFORCEMENT STRUCTURAL STEEL

ABBREVIATIONS

ARCH ARCHITECTURAL BOT BOTTOM

BEARING BRACED WALL PANEL CONTROL OR CONSTRUCTION JOINT

CENTER LINE CLR CLEAR CMU CONCRETE MASONRY UNIT

COL COLUMN CONT CONTINUOUS CVR COVER DECK BEARING ELEVATION

DOUG FIR-LARCH DIAMETER EACH

EACH FACE **ELEVATION EQUAL**

EACH WAY FLOOR DRAIN FOUNDATION

FLOOR OPENING GAUGE HOT-DIP GALVANIZED

HORIZ HORIZONTAL KIP = 1,000 POUNDS MAXIMUM

MINIMUM NOT TO SCALE ON-CENTER

PLATE POUNDS PER SQUARE FOOT

SIMILAR STAINLESS STEEL

TOP AND BOTTOM TOP OF FOOTING ELEVATION

TOP OF PIER ELEVATION TOP OF STEEL ELEVATION

TOP OF WALL ELEVATION **TYPICAL**

UNLESS NOTED OTHERWISE

VERT VERTICAL VERIFY IN FIELD

WELDED WIRE FABRIC

GENERAL CONDITIONS

1. OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS. WORK SHALL COMPLY WITH ALL LOCAL ORDINANCES INCLUDING BUT NOT LIMITED TO WORKING HOURS, NOISE LEVELS, DUST, ETC.

- IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE ENGINEER'S SITE VISITS ARE TO OBSERVE THE CONSTRUCTION. THEY ARE NOT A GUARANTEE OF THE CONTRACTOR'S
- QUALITY OF WORK, NOR DO THEY INDICATE RESPONSIBILITY FOR COORDINATION, SUPERVISION, OR SAFETY AT THE JOB SITE. 4. FIELD VERIFY LOCATIONS OF EXISTING STRUCTURES, PIPING, CONDUITS, DUCTWORK, ETC. AND NOTIFY THE ENGINEER OF

DEMOLITION

1. PRIOR TO DEMOLITION, PROVIDE APPROPRIATE SHORING FOR BOTH VERTICAL LOADS AND BRACING AGAINST LATERAL DISPLACEMENT AS REQUIRED TO MAINTAIN STABILITY OF THE STRUCTURE. DESIGN OF TEMPORARY SHORING SYSTEMS IS PART OF THE CONTRACTORS "MEANS AND METHODS" AND IS THE RESPONSIBILITY OF THE CONTRACTOR.

FOUNDATIONS

- LOCATE ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. CONTACT UTILITY LOCATING SERVICES PRIOR TO EXCAVATION. IN MICHIGAN CALL "MISS DIG" 800-482-7171 AT LEAST 72 HOURS PRIOR TO STARTING WORK. ANY EXISTING UTILITIES INDICATED ON DRAWINGS ARE BASED ON ORIGINAL CONSTRUCTION DRAWINGS AND SITE SURVEYS. EXACT UTILITY LOCATIONS AND ELEVATIONS OF UTILITIES MUST FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING
- 3. DO NOT REPAIR MISPLACED OR DAMAGED COLUMN ANCHOR BOLTS WITHOUT PRIOR APPROVAL BY THE STRUCTURAL ENGINEER.

1. ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE (ACI) DOCUMENTS REFERENCED IN SPECIFICATIONS.

MATERIAL PROPERTIES:			
LOCATION	28 DAY f'c (PSI)	AIR CONTENT	MAX W/C
ALL CONCRETE EXPOSED TO WEATHER	4 000	6% + 1%	0.50

- REINFORCING BARS SHALL BE ASTM A615 GRADE 60 UNO TIES AND STIRRUPS ASTM A615 GRADE 40.
- PROVIDE CRUSHED LIMESTONE LARGE AGGREGATE AND AIR ENTRAINMENT WHERE CONCRETE IS EXPOSED TO WEATHER AND SEE SPECIFICATIONS FOR ALL TESTING REQUIREMENTS. SUBMIT EACH CONCRETE MIX DESIGN FOR REVIEW. SUBMITTAL SHALL
- CONSIST OF DESIGN MIXES FOR EACH TYPE AND STRENGTH OF CONCRETE AND INCLUDE DATA BY EITHER LABORATORY TRIAL MIX OR FIELD TEST DATA BASE PER ACI 318.
- 6. ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS PRIOR TO REMOVAL OF FORMS. IF FORMS ARE REMOVED BEFORE THE END OF CURING PERIOD, COAT SURFACES WITH LIQUID CURING COMPOUND. PROVIDE DOWELS IN WALL FOOTINGS WITH EQUAL SIZE AND SPACING AS VERTICAL WALL STEEL, UNO.
- ALL OPENINGS IN SLABS AND WALLS SHALL HAVE REINFORCING ON EACH SIDE EQUAL TO THE AMOUNT OF REINFORCING
- 9. ALL CONCRETE SLABS ON GRADE SHALL BE REINFORCED WITH 6"x6"- W1.4xW1.4 WELDED WIRE FABRIC UNO. CONTRACTOR MAY SUPPLY FIBER REINFORCED CONCRETE IN AREAS SCHEDULED TO RECEIVE FLOOR COVERINGS AT DOSAGE RATES ACCORDING TO SPECIFICATIONS. IF FIBER REINFORCING IS USED, CONTROL JOINT SPACING SHALL NOT EXCEED 12' 0" IN
- 11. SEE ARCHITECTURAL DRAWINGS FOR SIZE, DEPTH, AND LOCATION OF DEPRESSED FLOOR SLABS REQUIRED. 12. PROVIDE CLASS "B" TENSION LAP SPLICES FOR ALL BARS UNO.

BAR	LAP LENGTH @fc=3ksi	LAP LENGTH @fc=4ksi		180° HOO EXTENSI
#3	22"	19"	6"	4"
#4	29"	25"	8"	4"
#5	36"	31"	10"	5"
#6	43"	37"	12"	6"

13. USE NON-SHRINK, NON-METALLIC GROUT UNDER ALL BASE PLATES, BEARING PLATES, AND SETTING PLATES. 14. PROVIDE CONCRETE COVER OVER REINFORCING BARS AS FOLLOWS UNO:

A. CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH = 3"

B. PERMANENTLY EXPOSED TO EARTH OR WEATHER; #5 AND SMALLER = 1 1/2", #6 AND LARGER = 2 " C. NOT EXPOSED TO EARTH OR WEATHER, WALLS AND SLABS = 3/4" BEAMS AND COLUMNS = 1 1/2"

CONCRETE TESTING

- TESTING AGENCY: OWNER WILL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TEST REPORTS DURING CONCRETE PLACEMENT. SAMPLING AND TESTING FOR QUALITY CONTROL
- MAY INCLUDE THOSE SPECIFIED IN THIS ARTICLE. TESTING SERVICES: TESTING OF COMPOSITE SAMPLES OF FRESH CONCRETE OBTAINED ACCORDING TO ASTM C172 SHALL BE PERFORMED ACCORDING TO THE FOLLOWING REQUIREMENTS: A. TESTING FREQUENCY: OBTAIN AT LEAST ONE COMPOSITE SAMPLE FOR EACH 100 CUBIC YARD OR FRACTION THEREOF OF EACH
- CONCRETE MIX PLACED EACH DAY. WHEN FREQUENCY OF TESTING WILL PROVIDE FEWER THAN FIVE COMPRESSIVE-STRENGTH TESTS FOR EACH CONCRETE MIX, TESTING SHALL BE CONDUCTED FROM AT LEAST FIVE RANDOMLY SELECTED BATCHES OR FROM EACH BATCH IF FEWER THAN FIVE ARE USED. B. SLUMP: ASTM C143, ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR

EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO

- C. AIR CONTENT: ASTM C231, PRESSURE METHOD, FOR NORMAL-WEIGHT CONCRETE; ONE TEST FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIX. D. CONCRETE TEMPERATURE: ASTM C1064, ONE TEST HOURLY WHEN AIR TEMPERATURE IS 40 DEGREES F AND BELOW AND WHEN
- 80 DEGREES F AND ABOVE, AND ONE TEST FOR EACH COMPOSITE SAMPLE. E. COMPRESSIVE-STRENGTH TESTS: ASTM C39, TEST TWO LABORATORY-CURED SPECIMENS AT 7 DAYS AND TWO AT 28 DAYS. A COMPRESSIVE-STRENGTH TEST SHALL BE THE AVERAGE COMPRESSIVE STRENGTH FROM TWO SPECIMENS OBTAINED FROM THE SAME COMPOSITE SAMPLE AND TESTED AT THE AGE INDICATED. CAST AND FIELD CURE ADDITIONAL SETS OF STANDARD CYLINDER SPECIMENS IN SETS OF TWO FOR EACH COMPOSITE SAMPLE WHEN REQUIRED TO VERIFY STRENGTH OF IN PLACE CONCRETE FOR REMOVAL OF SHORING. SPECIMENS SHALL BE STORED ADJACENT TO AND CURED SIMILAR TO CONCRETE TO BE
- WHEN STRENGTH OF FIELD-CURED CYLINDERS (IF REQUIRED) IS LESS THAN 85 PERCENT OF COMPANION LABORATORY-CURED CYLINDERS, CONTRACTOR SHALL EVALUATE OPERATIONS AND PROVIDE CORRECTIVE PROCEDURES FOR PROTECTING AND CURING IN-PLACE CONCRETE.
- STRENGTH OF EACH CONCRETE MIX WILL BE SATISFACTORY IF EVERY AVERAGE OF ANY THREE CONSECUTIVE COMPRESSIVE-STRENGTH TESTS EQUALS OR EXCEEDS SPECIFIED COMPRESSIVE STRENGTH AND NO COMPRESSIVE-STRENGTH TEST VALUE FALLS BELOW SPECIFIED COMPRESSIVE STRENGTH BY MORE THAN 500 PSI.
- TEST RESULTS SHALL BE REPORTED IN WRITING TO ENGINEER, CONCRETE MANUFACTURER, AND CONTRACTOR WITHIN 48 HOURS OF TESTING. REPORTS OF COMPRESSIVE-STRENGTH TESTS SHALL CONTAIN PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING AND INSPECTING AGENCY, LOCATION OF CONCRETE BATCH IN WORK, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE
- BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7- AND 28-DAY TESTS. NONDESTRUCTIVE TESTING: IMPACT HAMMER SONOSCOPE, OR OTHER NONDESTRUCTIVE DEVICE MAY BE PERMITTED BY ENGINEER BUT WILL NOT BE USED AS SOLE BASIS FOR APPROVAL OR REJECTION OF CONCRETE.
- ADDITIONAL TESTS: TESTING AND INSPECTING AGENCY SHALL MAKE ADDITIONAL TESTS OF CONCRETE WHEN TEST RESULTS INDICATE THAT SLUMP, AIR ENTRAINMENT, COMPRESIVE STRENGTHS, OR OTHER REQUIREMENTS HAVE NOT BEEN MET, AS DIRECTED BY ENGINEER. TESTING AND INSPECTING AGENCY MAY CONDUCT TESTS TO DETERMINE ADEQUACY OF CONCRETE BY CORED CYLINDERS COMPLYING WITH ASTM C42 OR BY OTHER METHODS AS DIRECTED BY ARCHITECT.

POST-INSTALLED ANCHORS

- 1. POST INSTALLED ADHESIVE ANCHORS: A. INSTALL PER MANUFACTURERS PRINTED INSTALLATION INSTRUCTIONS (MPII).
- B. DO NOT INSTALL ANCHORS IN WET OR SATURATED CONCRETE. C. DO NOT INSTALL ANCHORS IN CONCRETE LESS THAN 21 DAYS OLD OR UNTIL CONCRETE HAS REACHED ITS DESIGN STRENGTH, WHICHEVER COMES FIRST
- D. VERIFY ADHESIVE EXPIRATION DATE PRIOR TO INSTALLATION.
- E. DO NOT CORE DRILL HOLES FOR ADHESIVE ANCHORS. F. CLEAN HOLES PER MPII.
- G. CURE ADHESIVE PER MPII PRIOR TO LOADING ANCHORS. H. ADHESIVE FOR REBAR AND ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ACI355.4 AND ICC-ES ACI 308 FOR CRACKED CONCRETE AND SEISMIC APPLICATIONS.
- I. ANCHOR DESIGN IS BASED ON ADHESIVE BOND STRENGTH PER ACI 355.4 TEMPERATURE CATEGORY B WITH INSTALLATIONS INTO DRY HOLES DRILLED USING A CARBIDE DRILL BIT INTO CRACKED CONCRETE THAT HAS CURED FOR AT LEAST 21 DAYS. POST INSTALLED MECHANICAL ANCHORS
- A. INSTALL PER MANUFACTURERS PRINTED INSTALLATION INSTRUCTIONS (MPII).
- B. DO NOT CORE DRILL HOLES FOR MECHANICAL ANCHORS.

C. CLEAN HOLES PER MANUFACTURERS REQUIREMENTS.

D. INSTALL IN STRICT COMPLIANCE WITH MANUFACTURERS REQUIREMENTS.

MASONRY

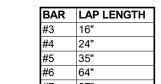
1. MATERIAL PROPERTIES:

MASONRY 28 DAY COMPRESSIVE STRENGTH	f'm = 2,000 PSI
CONCRETE MASONRY UNITS:	2,000 PSI ASTM C90
MORTAR (TYPE S)	2,000 PSI ASTM C270
GROUT	ASTM C476
GROUT 28 DAY COMPRESSIVE STRENGTH	2,000 PSI

- REFER TO ARCHITECTURAL DRAWINGS FOR MASONRY CONTROL JOINT LOCATIONS. ALL MASONRY WALLS SHALL BE REINFORCED WITH LADDER TYPE HORIZONTAL JOINT REINFORCEMENT PLACED EVERY OTHER
- COURSE FOR RUNNING BOND AND EVERY COURSE FOR STACK BOND. PROVIDE GALVANIZED WIRE REINFORCEMENT WITH #9 GAGE SIDE RODS AND #9 GAGE CROSS RODS SPACED 16" OC. FOR TWO WYTHE WALLS, PROVIDE HOOK AND PINTEL TIES. 4. PROVIDE LINTELS PER THE FOLLOWING TABLE UNO ON THE DRAWINGS:
- OPENING SIZE | STEEL LINTEL PER 4" OF WALL | 8" DEEP MASONRY LINTEL

VERTICAL REINFORCING SHALL BE LAPPED AND HELD IN POSITION WITH BAR POSITIONERS.

(2) #5 BOND BEAM PROVIDE A MINIMUM OF 8" BEARING AT EACH END OF ALL LINTELS UNO.



- NO CHASES, RISERS, CONDUITS OR TOOTHING OF MASONRY SHALL OCCUR IN MASONRY WALLS WITHIN 18" OF CENTERLINE OF
- GROUT SOLID ALL REINFORCED CELLS, CELLS BELOW GRADE, AND ALL CELLS BELOW FINISH FLOOR. VERTICAL CELLS TO BE GROUTED SHALL HAVE VERTICAL ALIGNMENT SUFFICIENT TO MAINTAIN A TOTAL MINIMUM CLEAR AREA OF
- 3"x3". ALL OVERHANGING MORTAR, OBSTRUCTIONS AND DEBRIS SHALL BE CLEANED FROM THE INSIDE OF CELLS PRIOR TO GROUTING. 10. REINFORCEMENT SHALL BE PLACED PRIOR TO GROUTING.
- MAXIMUM HEIGHT OF GROUT POURS SHALL NOT EXCEED 5'-0". BETWEEN GROUT POURS, A HORIZONTAL CONSTRUCTION JOINT SHALL BE FORMED BY STOPPING GROUT 1 1/2" BELOW MORTAR JOINT EXCEPT AT THE TOP OF THE WALL.

STRUCTURAL STEEL MATERIAL PROPERTIES:

MATERIALS	ASTM	MIN YIELD STRESS (KSI)	TENSILE STRESS (KSI)
STRUCTURAL STEEL (WIDE FLANGE)	A992	50	65
STRUCTURAL STEEL (ALL OTHER)	A36	36	58
STRUCTURAL TUBES (HSS)	A500 Gr. C	50	62
STRUCTURAL PIPE	A53 Gr. B	35	60
WELDING ELECTRODES	AWS D1.1-86	-	-
3/4" DIAMETER BOLTS	A325	-	-
ANCHOR RODS	F1554 Gr. 36	36	58
NUTS	A563	-	-
WASHERS	F436 CIRCULAR	-	-

- FIELD ALTERATIONS OF STRUCTURAL MEMBERS ARE NOT PERMITTED WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER.
- STEEL COLUMNS SHALL EXTEND TO WITHIN 1" OF TOP OF BEAMS UNO. ERECTION CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BRACING TO RESIST WIND LOADS UNTIL ALL FINAL CONNECTIONS OF THE STEEL FRAME, METAL DECK, AND SHEAR WALLS ARE COMPLETED.
- FERO BREAK-AWAY FIRE-RELEASE CONNECTORS ARE MANUFACTURED BY FERO CORPORATION, 15305-117 AVENUE, EDMONTON, ALBERTA, CANADA T5M 3x4, (780)455-5098, WWW.FEROCORP.COM.

.......

Grand Rapids, MI 49525 Phone (616) 365.9933 compeng.com

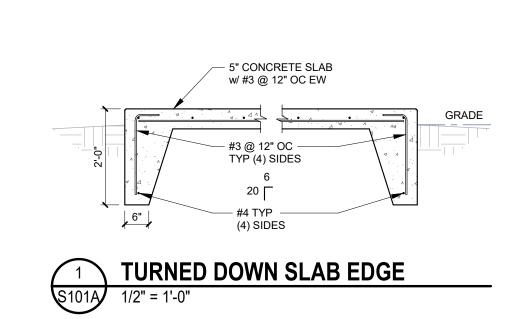
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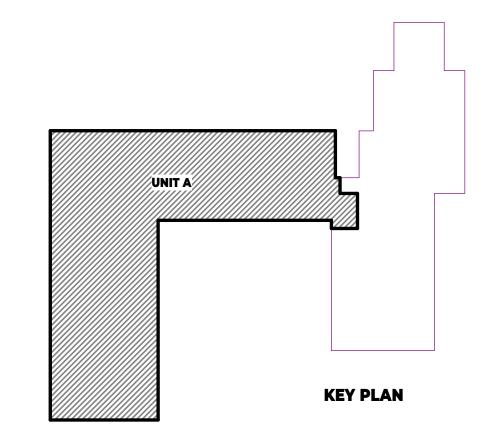
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STRUCTURAL NOTES

03/08/2024











MPS GLENSIDE

MUSKEGON PUBLIC SCHOOLS

1213 W Hackley Ave, Muskegon, MI 4944

SYM DATE ISSUED FOR

ISSUE DATE

03/08/2024

FOUNDATION PLAN -UNIT A

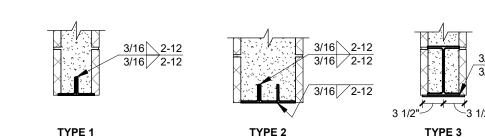
SHEET NUMBER

S101A

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ROOF FRAMING NOTES

FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO ORDERING MATERIALS AND STARTING CONSTRUCTION
 SEE S001 FOR STRUCTURAL NOTES.



MASONRY LINTEL TYPES

NOT TO SCALE

	MASONRY LINTEL SCHEDULE				
MARK	SIZE	WALL TYPE	BRG PL	BEARING	NOTES
L1	(2) L3 1/2x3 1/2x5/16	1	-	8"	2
L2	(3) L5x3 1/2x5/16	2	-	8"	2, 3
L10	W8x10 w/ 1/4" BTM PL	3	-	8"	2, 3, 4, 5

MASONRY LINTEL SCHEDULE NOTES

1. SEE TYPICAL LINTEL BEARING DETAIL FOR ADDITIONAL INFORMATION. 2. GROUT CORE TWO COURSES BELOW LINTEL BEARING.

UNIT A

KEY PLAN

- 3. GALVANIZED AT EXTERIOR WALLS.
- 4. BOTTOM PLATE WIDTH TO BE 1" LESS THAN THE NOMINAL THICKNESS OF THE WALL.
- 5. EXTEND BOTTOM PLATE FULL LENGTH OF LINTEL. 6. CAVITY WIDTHS GREATER THAN 4" NOMINAL SHALL HAVE ENGINEERED VENEER TIES.



4650 Plainfield Avenue NE, Suite A Grand Rapids, MI 49525 Phone (616) 365.9933

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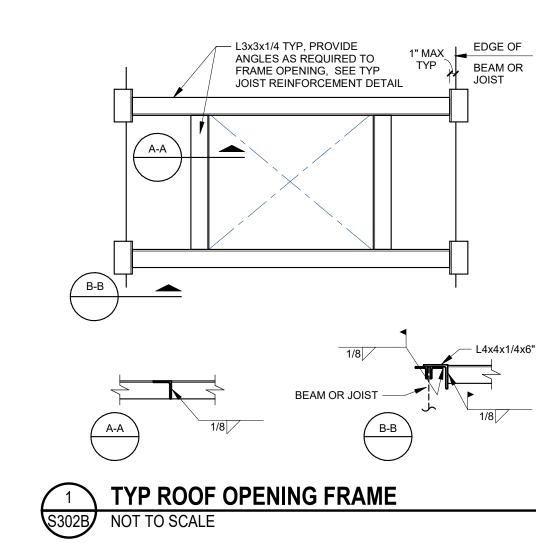
SYM DATE

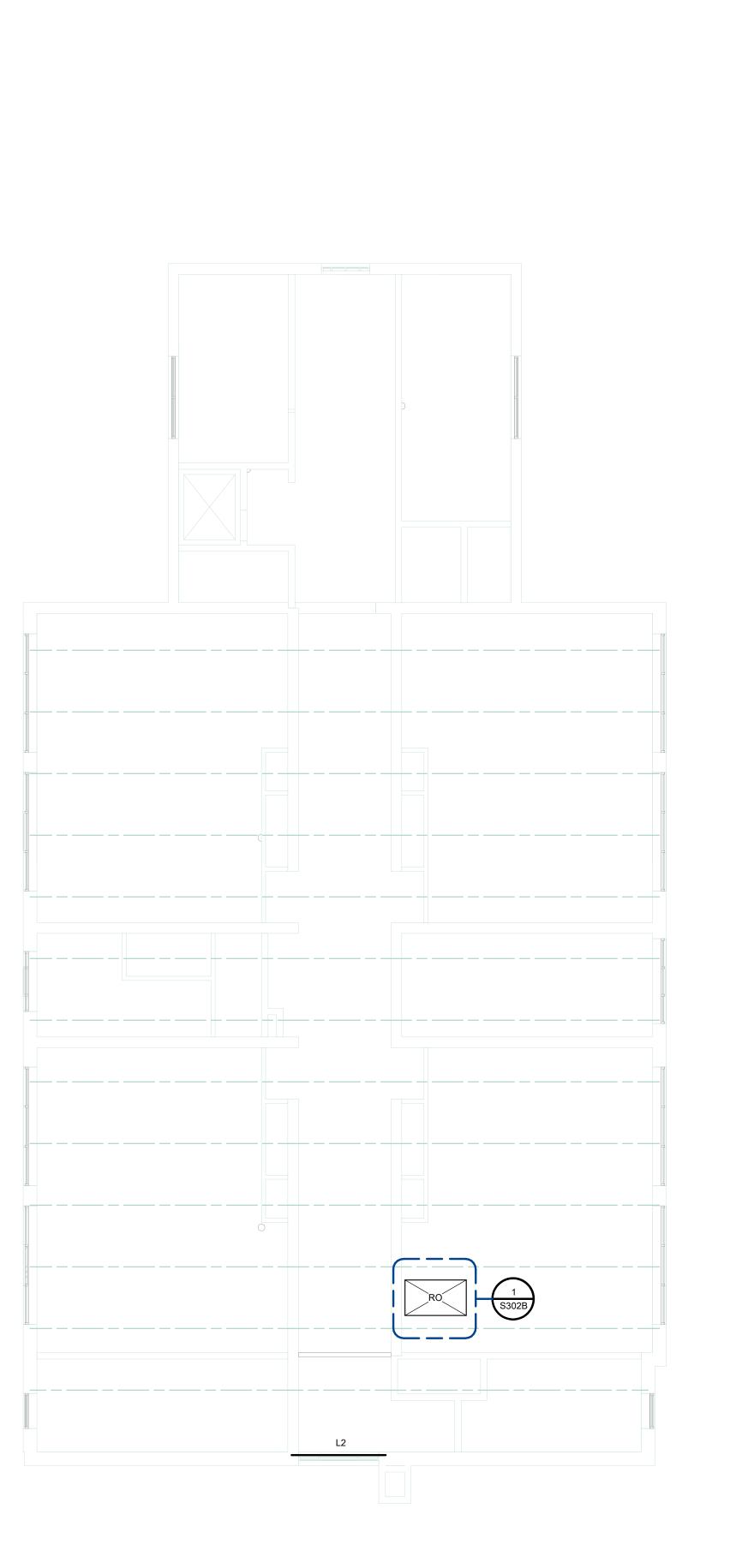
03/08/2024

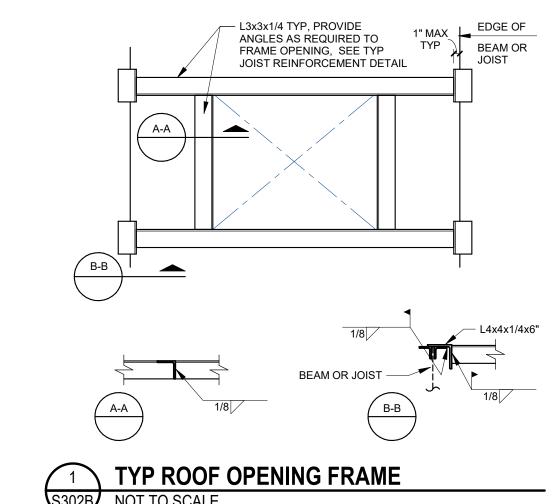
ROOF FRAMING PLAN -UNIT A

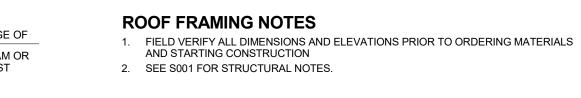
©2022 PROJECT NO. 22.114

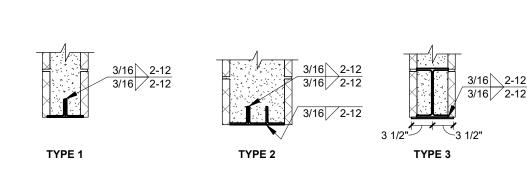
ROOF FRAMING PLAN - UNIT A
SCALE: 1/8" = 1'-0"



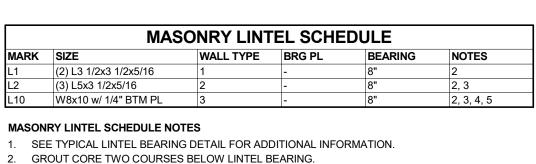




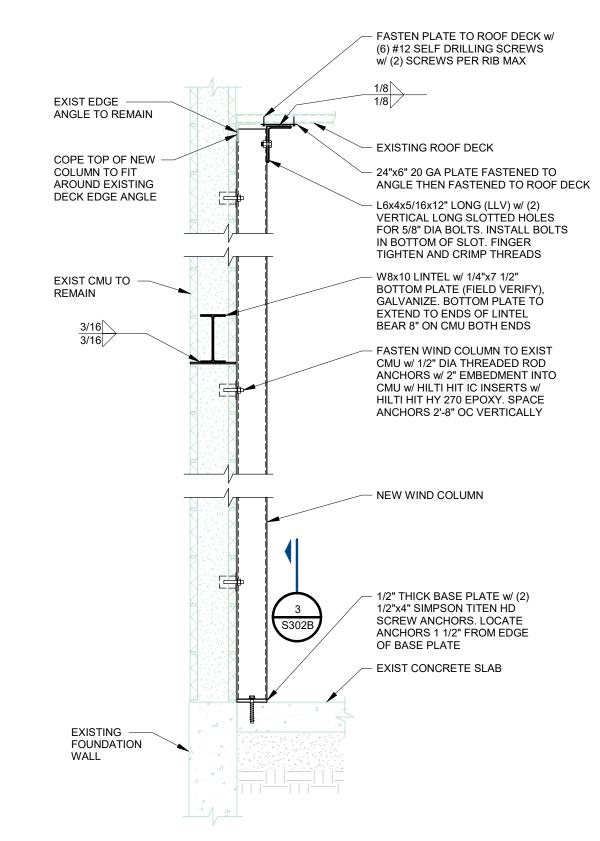




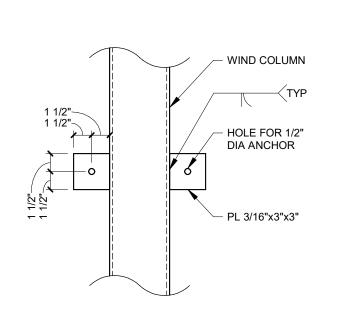
MASONRY LINTEL TYPES



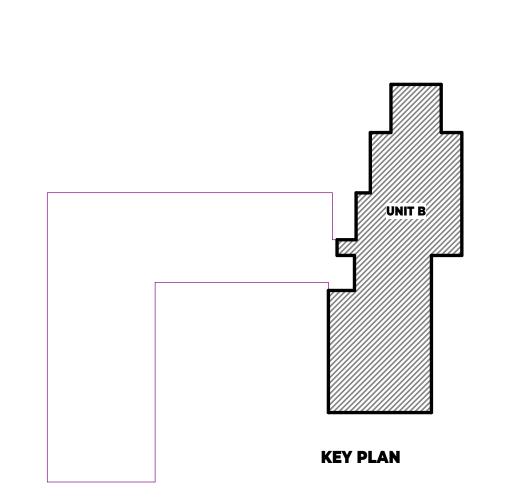
GALVANIZED AT EXTERIOR WALLS. 4. BOTTOM PLATE WIDTH TO BE 1" LESS THAN THE NOMINAL THICKNESS OF THE WALL. 5. EXTEND BOTTOM PLATE FULL LENGTH OF LINTEL. 6. CAVITY WIDTHS GREATER THAN 4" NOMINAL SHALL HAVE ENGINEERED VENEER TIES.







WIND COLUMN **WALL ANCHOR TAB**





COMPREHENSIVEENGINEERING 4650 Plainfield Avenue NE, Suite A Grand Rapids, MI 49525 Phone (616) 365.9933 compeng.com

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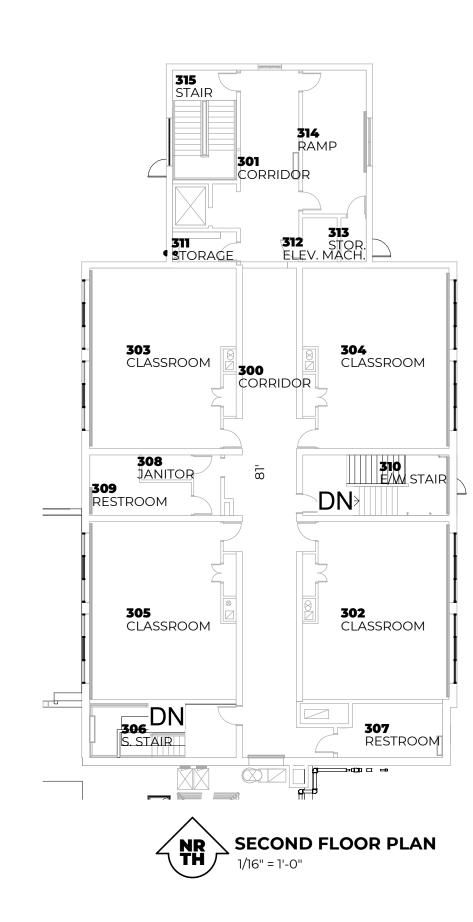


SYM DATE 03/08/2024 ROOF FRAMING PLAN -

S302B ©2022 PROJECT NO. 22.114









ROOM TAG ROOM NUMBER -ROOM NAME -

EXPOSED CEILING -

DOOR TAG

DOOR TAG NUMBER CORRESPONDS TO THE ROOM IN WHICH IT IS USED ----THE DECIMAL NUMBER REFERS TO DIFFERENT

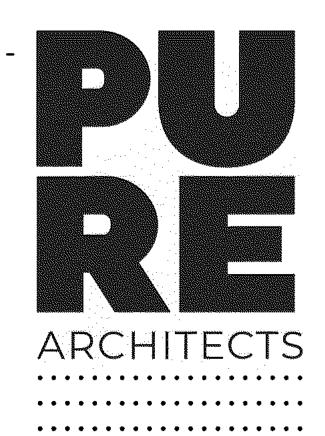
WALL TAG

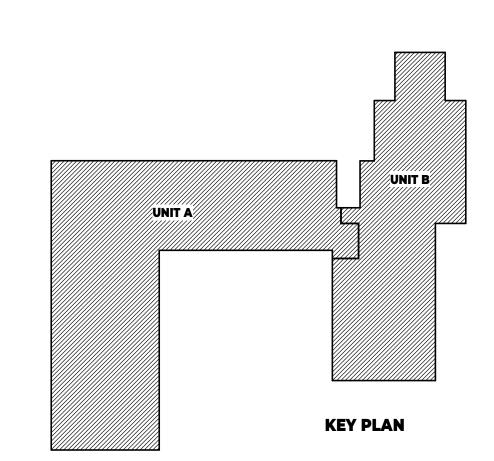
WALL TYPE -WALL FIRE RATING -



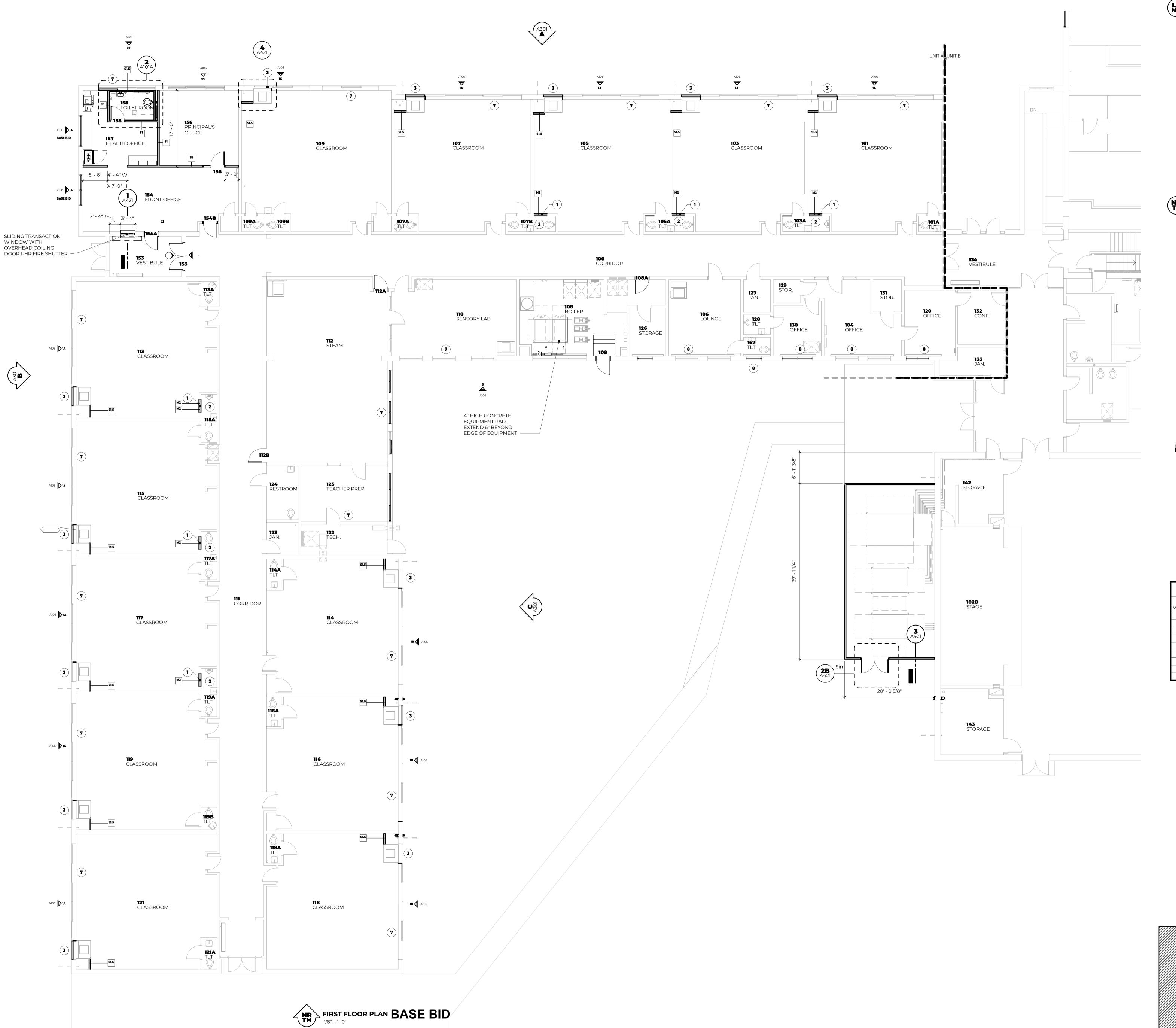
DOORS IN THE SAME ROOM

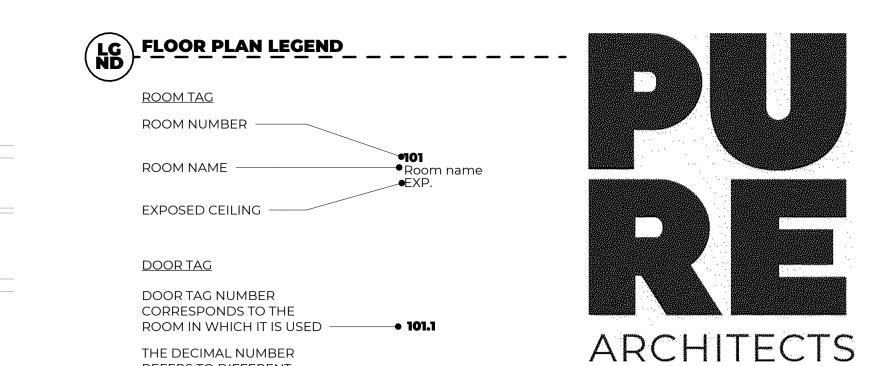
- 1 INFILL WALL, MATCH EXISTING.
- 2 REFER TO INTERIOR DRAWINGS FOR SCOPE OF FINISHES AT CLASSROOM RESTROOMS.
- 3 LOUVER, COORDINATE WITH VUV LOCATIONS.
- 4 CLASSROOM EGRESS WINDOW. REFER TO FRAME ELEVATIONS FOR CLEARANCE DIMENSIONS.
- 5 WALL MOUNTED LADDER TO ROOF WITH ROOF HATCH ABO VE - REFERENCE ROOF PLAN FOR DETAILS
- 6 INFILL EXISTING OPENING, MATCH EXISTING. -REFERENCE IMAGE ON SHEET A101B
- 7 INFILL EXISTING HUV MASONRY LOUVER OPENING WITH 6" CMU FLUSH WITH INTERIOR FACE OF EXISTING CMU WALL WITH SPRAY APPLIED INSULATION IN CAVITY. FURR OUT INTERIOR SIDE WITH HAT CHANNELS AND GYPSUM BOARD FLUSH WITH EXISTING. PROVIDE BLANK-OFF PANEL AT REAR FACE OF EXISTING LOUVER. EXISTING LOUVER TO BE PAINTED TO MATCH WINDOW FRAMING. ENTIRE FACE OF INTERIOR WALL TO BE PAINTED TO MATCH ADJACENT WALLS
- 8 PAINT ENTIRE WALL WHERE MECHANICAL UNIT IS TO BE REMOVED TO MATCH ADJACENT WALLS, TYP.
- 9 PAINT EXISTING EIFS TO MATCH ADJACENT STOREFRONT SYSTEM





SYM DATE 03.08.2024 OVERALL FLOOR PLANS





REFERS TO DIFFERENT

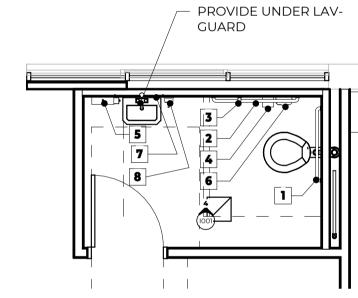
WALL TAG

WALL TYPE

WALL FIRE RATING -

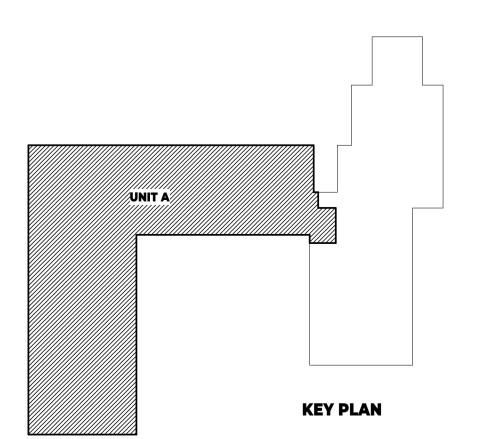
DOORS IN THE SAME ROOM

- 1 INFILL WALL, MATCH EXISTING.
- 2 REFER TO INTERIOR DRAWINGS FOR SCOPE OF FINISHES AT CLASSROOM RESTROOMS.
- 3 LOUVER, COORDINATE WITH VUV LOCATIONS.
- 4 CLASSROOM EGRESS WINDOW. REFER TO FRAME ELEVATIONS FOR CLEARANCE DIMENSIONS.
- 5 WALL MOUNTED LADDER TO ROOF WITH ROOF HATCH ABO VE - REFERENCE ROOF PLAN FOR DETAILS
- 6 INFILL EXISTING OPENING, MATCH EXISTING.REMOVE
- AND REPLACE RUBBER BASE ON WALL SEGMENT -REFERENCE IMAGE 1 ON SHEET A101B
- 7 INFILL EXISTING HUV MASONRY LOUVER OPENING WITH 6" CMU FLUSH WITH INTERIOR FACE OF EXISTING CMU WALL WITH SPRAY APPLIED INSULATION IN CAVITY. FURR OUT INTERIOR SIDE WITH HAT CHANNELS AND GYPSUM BOARD FLUSH WITH EXISTING. PROVIDE BLANK-OFF PANEL AT REAR FACE OF EXISTING LOUVER. EXISTING LOUVER TO BE PAINTED TO MATCH WINDOW FRAMING. ENTIRE FACE OF INTERIOR WALL TO BE PAINTED TO MATCH ADJACENT WALLS
- 8 PAINT ENTIRE WALL WHERE MECHANICAL UNIT IS TO BE REMOVED TO MATCH ADJACENT WALLS, TYP.
- 9 PAINT EXISTING EIFS TO MATCH ADJACENT STOREFRONT
- 10 INFILL EXISTING OPENING, MATCH EXISTING. REFERENCE IMAGE 2 ON SHEET A101B

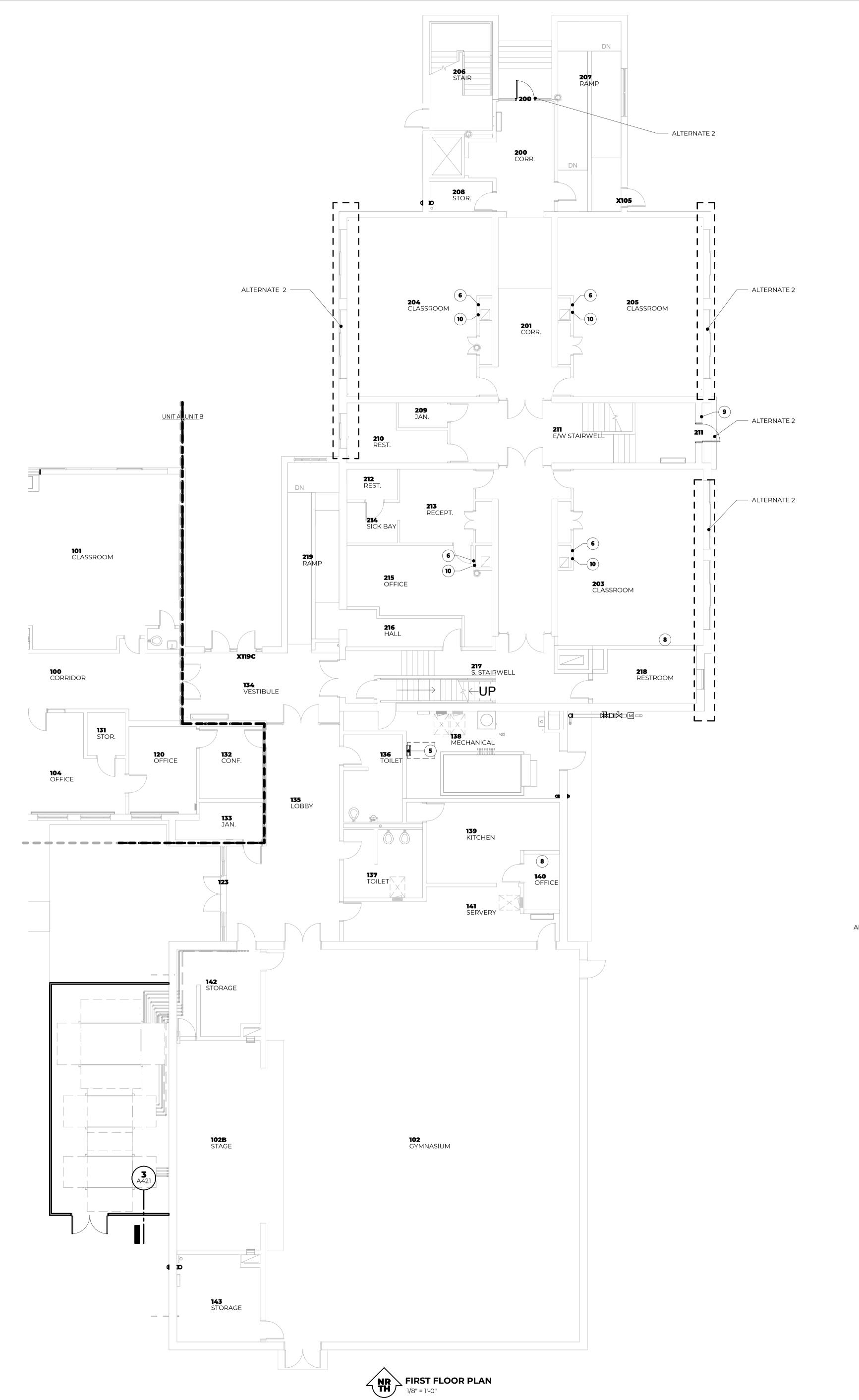


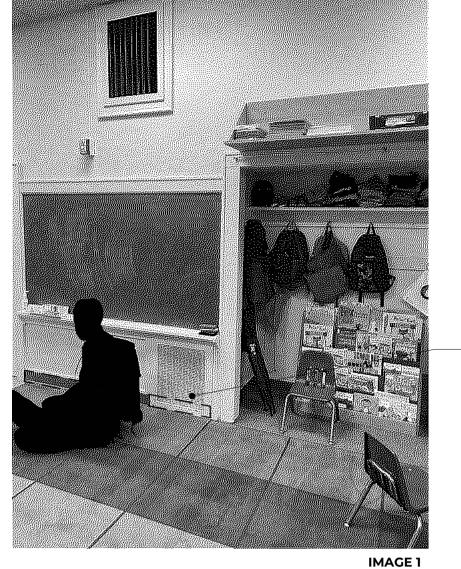


	TOILET ACCESSORIES SCHEDULE					
		RESPONSIBILITY				
MARK	PRODUCT	CI	CP	OI	OP	
1	36" GRAB BAR	×	×			
2	42" GRAB BAR	×	Х			
3	18" GRAB BAR	×	Х			
4	Toilet Tissue Dispenser	×			Х	
5	Towel Dispenser	×			Х	
6	NAPKIN DISPOSAL	×			Χ	
7	MIRROR	×	X			
8	Soap Dispenser	X			Χ	



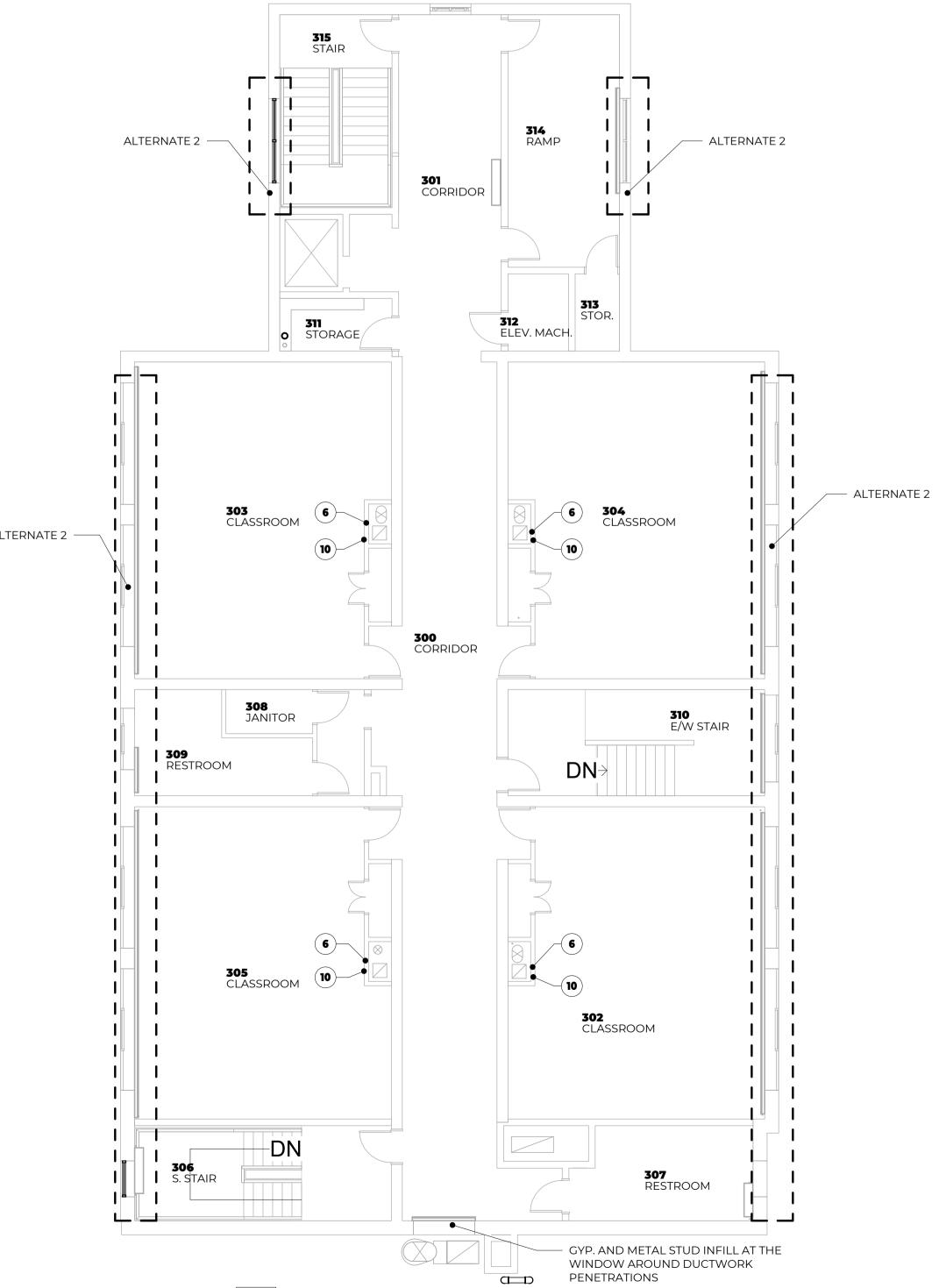
03.08.2024 FIRST FLOOR PLAN -UNIT A





RETURN LOUVER WITH GYPSUM BOARD ON METAL STUDS TO APPEAR SEAMLESS -PAINT ENTIRE WALL. REMOVE RUBBER BASE ON WALL SEGMENT AND REPLACE WITH NEW RUBBER BASE TO RUN LENGTH OF WALL SEGMENT.

INFILL EXISTING RETURN LOUVER WITH GYPSUM BOARD ON METAL STUDS TO APPEAR SEAMLESS PAINT ENTIRE WALL -



SECOND FLOOR PLAN
1/8" = 1'-0"

DOOR TAG NUMBER CORRESPONDS TO THE THE DECIMAL NUMBER REFERS TO DIFFERENT

DOORS IN THE SAME ROOM

WALL TAG

WALL TYPE -



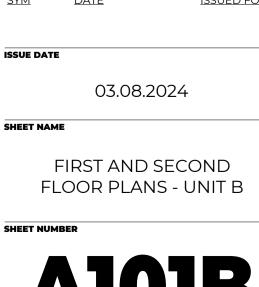
- 1 INFILL WALL, MATCH EXISTING. 2 REFER TO INTERIOR DRAWINGS FOR SCOPE OF FINISHES AT CLASSROOM RESTROOMS.
- 3 LOUVER, COORDINATE WITH VUV LOCATIONS.
- 4 CLASSROOM EGRESS WINDOW. REFER TO FRAME ELEVATIONS FOR CLEARANCE DIMENSIONS.
- 5 WALL MOUNTED LADDER TO ROOF WITH ROOF HATCH ABO VE - REFERENCE ROOF PLAN FOR DETAILS
- 6 INFILL EXISTING OPENING, MATCH EXISTING.REMOVE AND REPLACE RUBBER BASE ON WALL SEGMENT -REFERENCE IMAGE 1 ON SHEET A101B
- 7 INFILL EXISTING HUV MASONRY LOUVER OPENING WITH 6" CMU FLUSH WITH INTERIOR FACE OF EXISTING CMU WALL WITH SPRAY APPLIED INSULATION IN CAVITY. FURR OUT INTERIOR SIDE WITH HAT CHANNELS AND GYPSUM BOARD FLUSH WITH EXISTING. PROVIDE BLANK-OFF PANEL AT REAR FACE OF EXISTING LOUVER. EXISTING LOUVER TO BE PAINTED TO MATCH WINDOW FRAMING. ENTIRE FACE OF INTERIOR WALL TO BE PAINTED TO MATCH ADJACENT WALLS
- 8 PAINT ENTIRE WALL WHERE MECHANICAL UNIT IS TO BE REMOVED TO MATCH ADJACENT WALLS, TYP.
- 9 PAINT EXISTING EIFS TO MATCH ADJACENT STOREFRONT

10 INFILL EXISTING OPENING, MATCH EXISTING. REFERENCE IMAGE 2 ON SHEET A101B

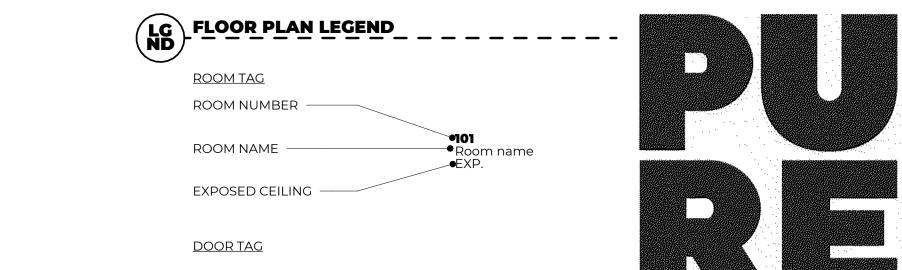
ARCHITECTS

UNIT B **KEY PLAN**

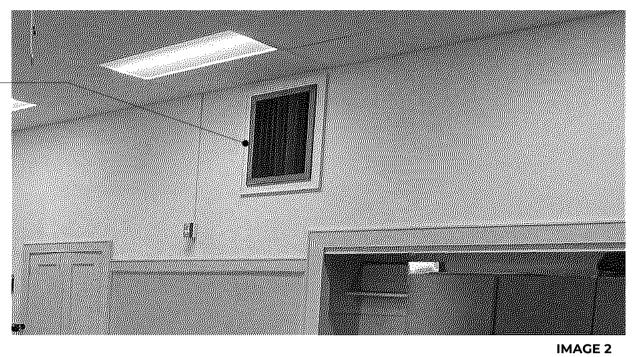
03.08.2024

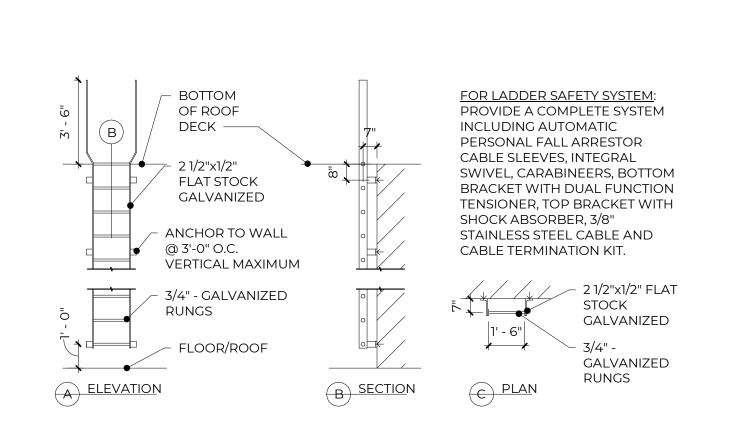


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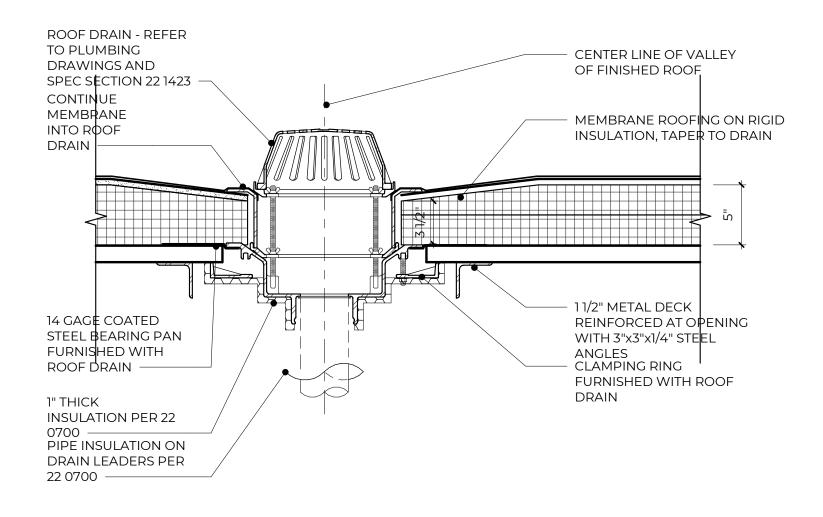
INFILL EXISTING

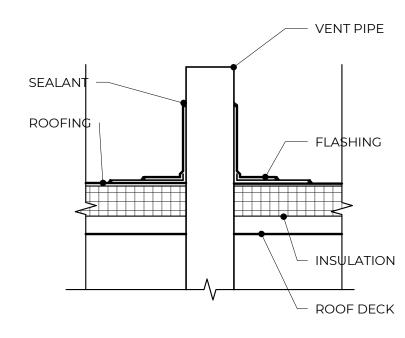




ROOF LADDER DETAIL WITH EXTENDED SIDE RAIL

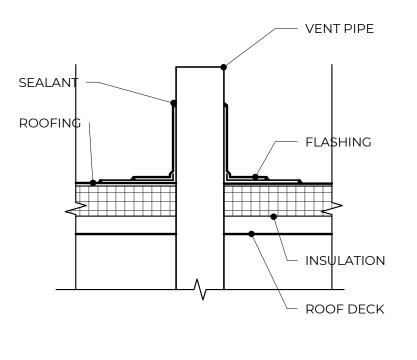
1/4" = 1'-0"

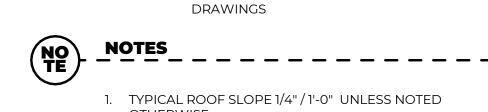












ROOF INSULATION.

OVERFLOW DRAIN - SEE

PLUMBING DRAWINGS

R.D.

ROOF PLAN LEGEND

60 MIL, FULLY ADHERED, STANDARD EPDM ROOF MEMBRANE ON TWO

60 MIL, FULLY ADHERED, STANDARD EPDM ROOF MEMBRANE ON TWO

LAYERS OF 2" POLYISOCYANURATE.

VAPOR BARRIER AND 60 MIL, FULLY

ADHERED, STANDARD EPDM ROOF

MEMBRANE ON TWO LAYERS OF 2"

POLYISOCYANURATE WITH TAPERED

ROOF DRAIN - SEE PLUMBING DRAWINGS

ROOF SLOPE DUE TO TAPERED INSULATION OR

SLOPED STRUCTURE - REFER TO STRUCTURAL

•••••

.

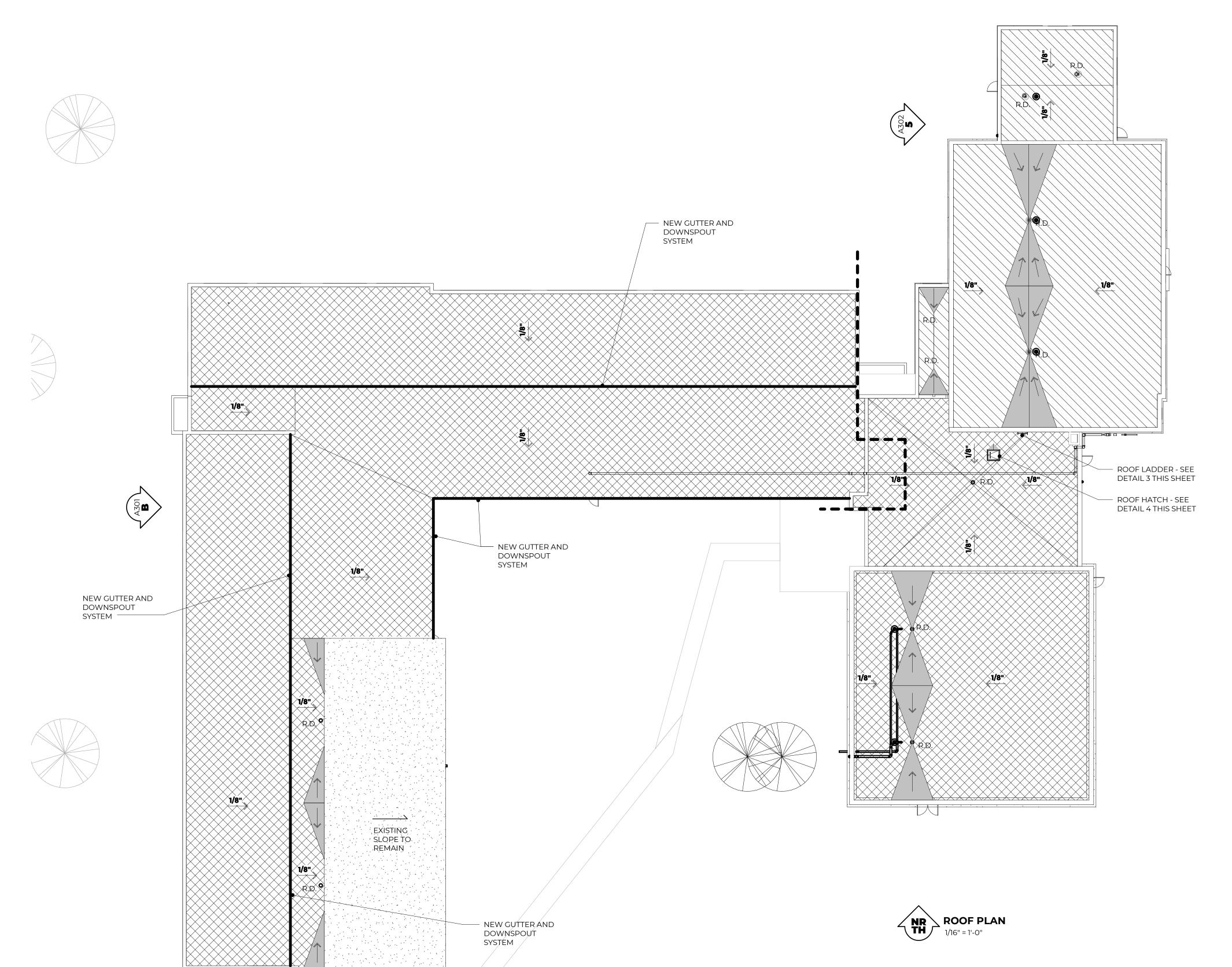
TAPERED ROOF INSULATION.

SAME AS SYSTEM ABOVE WITH

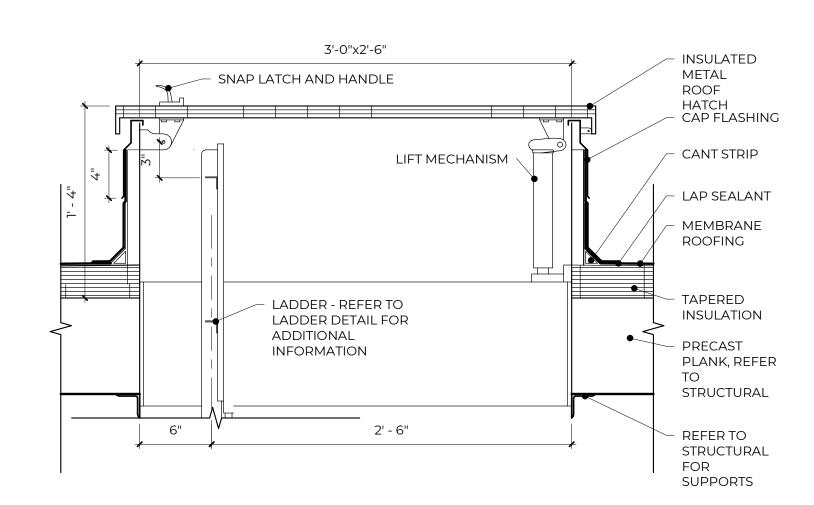
TAPERED INSULATION.

LAYERS OF 2" POLYISOCYANURATE WITH

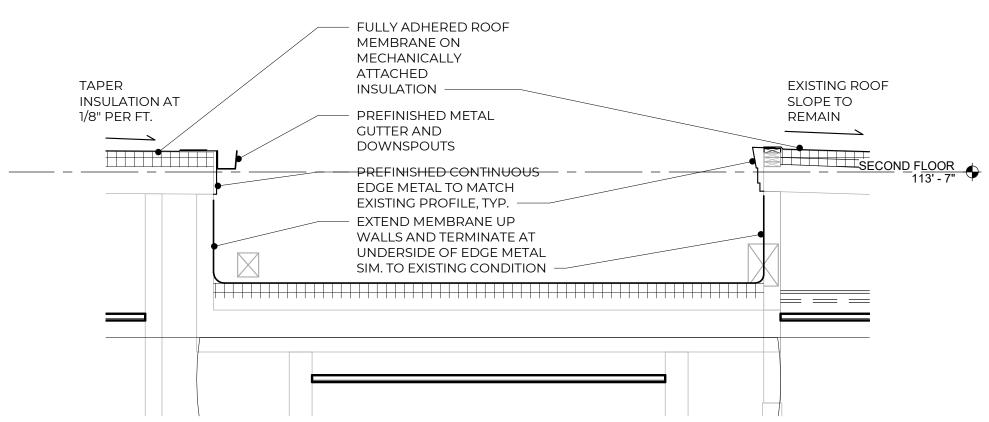
- OTHERWISE.
- 2. PROVIDE ROOFING MANUFACTURER'S STANDARD ROOFING TERMINATION DETAILS AT ALL PARAPETS, PRE-MANUFACTURED ROOF EDGE SYSTEMS, CURBS, PIPE PENETRATIONS, ETC.
- 3. PROVIDE CRICKETS AS REQUIRED AT ALL MECHANICAL UNITS, VENTS, ETC. TO MAINTAIN POSITIVE SLOPE OF 1/4" /1'-0" MINIMUM.
- 4. REPLACE EXISTING EDGE METAL AND METAL COPING WITH CONTINUOUS PREFINISHED METAL PROFILES TO MATCH EXISTING WITH CONSISTANT FINISH TO MATCH STOREFRONT FINISH.



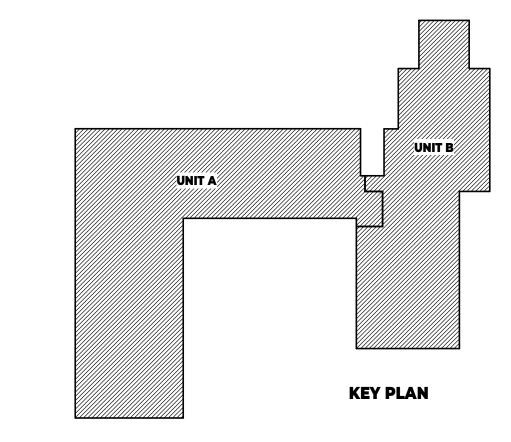
ROOF DRAIN DETAIL
1 1/2" = 1'-0"



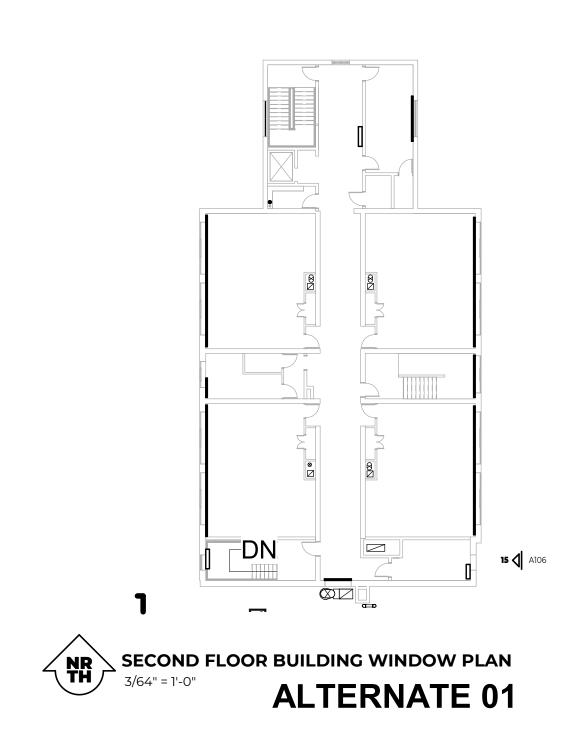


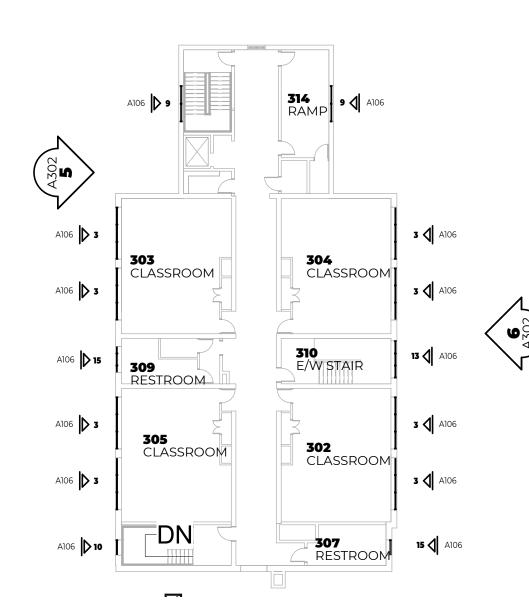




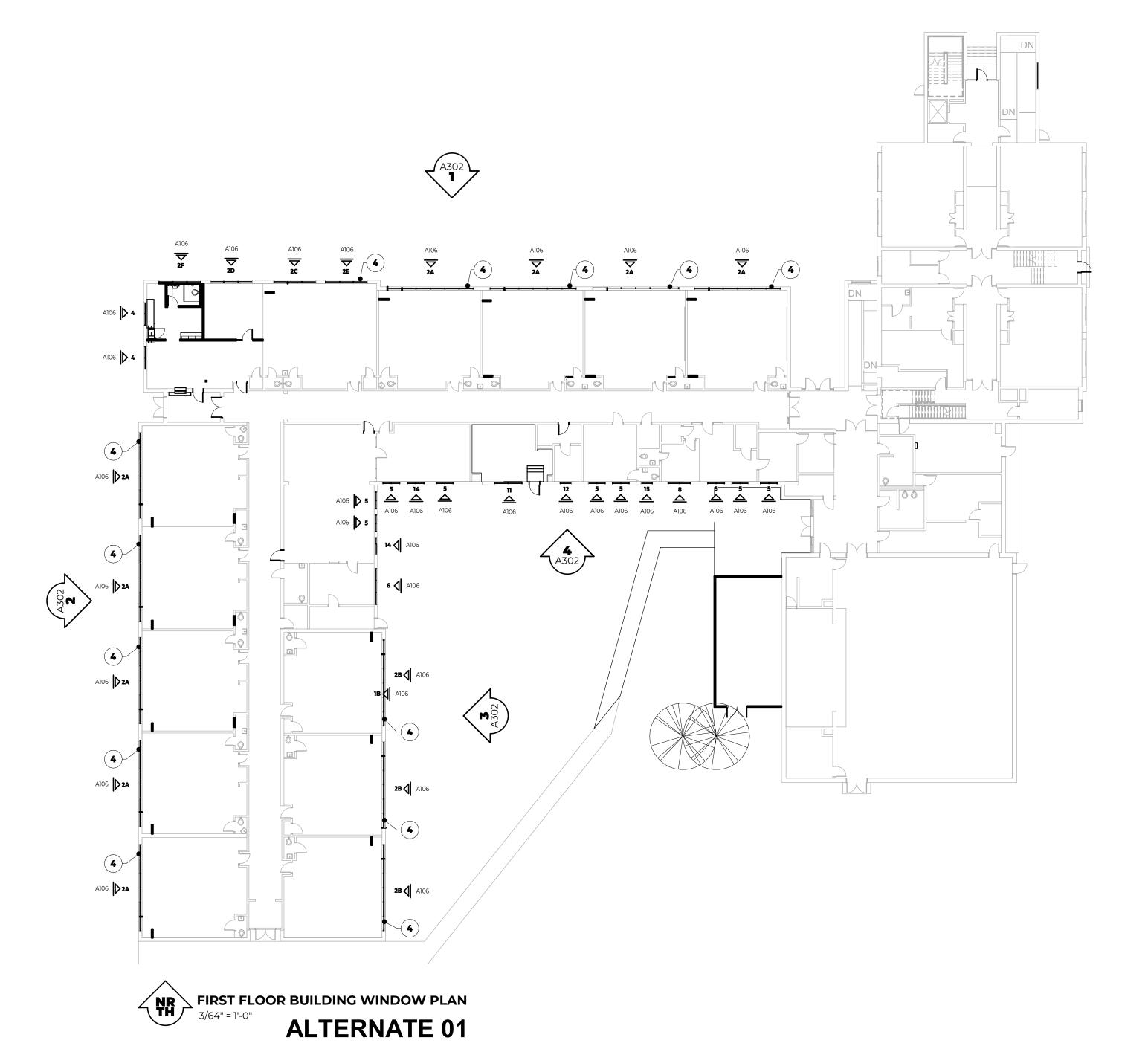


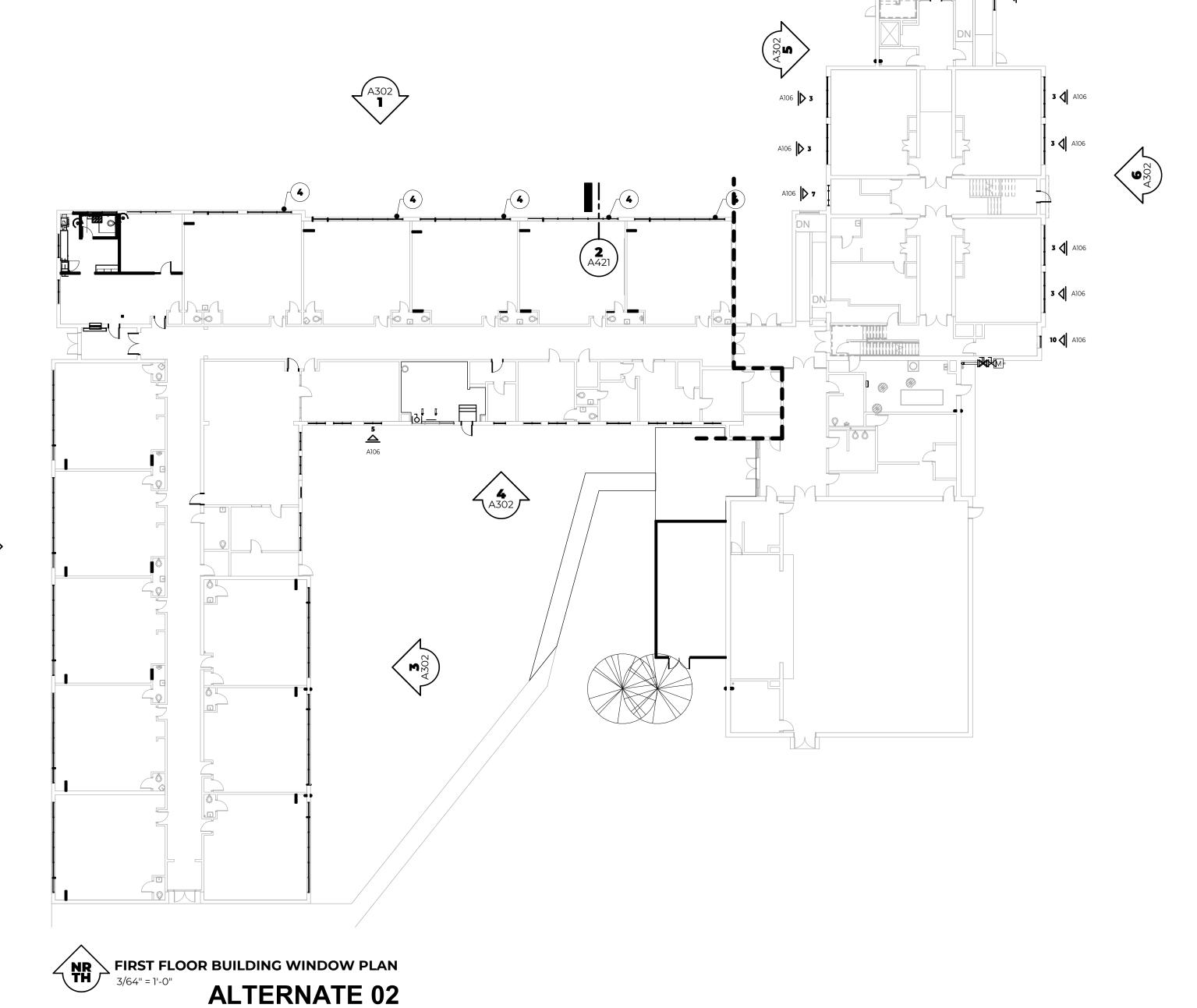




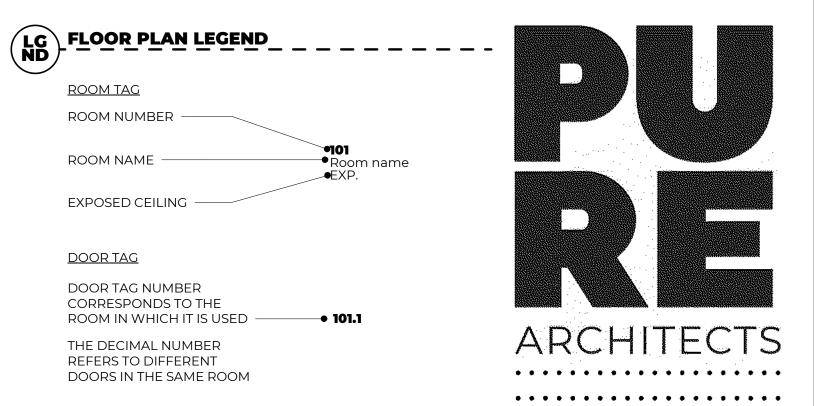








ALTERNATE 02 IS IN ADDITION TO ALTERNATE 01.



WALL TAG

WALL TYPE -

WALL FIRE RATING -

1 INFILL WALL, MATCH EXISTING.

2 REFER TO INTERIOR DRAWINGS FOR SCOPE OF FINISHES AT CLASSROOM RESTROOMS.

3 LOUVER, COORDINATE WITH VUV LOCATIONS.4 CLASSROOM EGRESS WINDOW. REFER TO FRAME

ELEVATIONS FOR CLEARANCE DIMENSIONS.

5 WALL MOUNTED LADDER TO ROOF WITH ROOF HATCH

ABO VE - REFERENCE ROOF PLAN FOR DETAILS

6 INFILL EXISTING OPENING, MATCH EXISTING. - REFERENCE IMAGE ON SHEET A101B

7 INFILL EXISTING HUV MASONRY LOUVER OPENING WITH 6" CMU FLUSH WITH INTERIOR FACE OF EXISTING CMU WALL WITH SPRAY APPLIED INSULATION IN CAVITY. FURR OUT INTERIOR SIDE WITH HAT CHANNELS AND GYPSUM BOARD FLUSH WITH EXISTING. PROVIDE BLANK-OFF PANEL AT REAR FACE OF EXISTING LOUVER. EXISTING LOUVER TO BE PAINTED TO MATCH WINDOW FRAMING. ENTIRE FACE OF INTERIOR WALL TO BE PAINTED TO MATCH ADJACENT WALLS

8 PAINT ENTIRE WALL WHERE MECHANICAL UNIT IS TO BE REMOVED TO MATCH ADJACENT WALLS, TYP.
 9 PAINT EXISTING EIFS TO MATCH ADJACENT STOREFRONT

SYSTEM

UNIT A

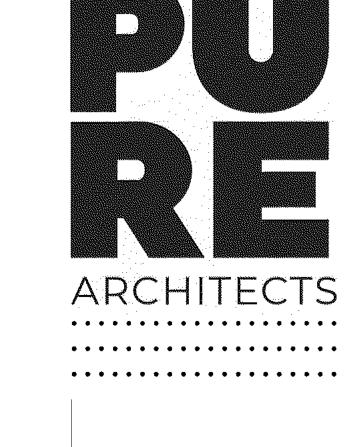
KEY PLAN

SYM DATE ISSUED FOR

ISSUE DATE

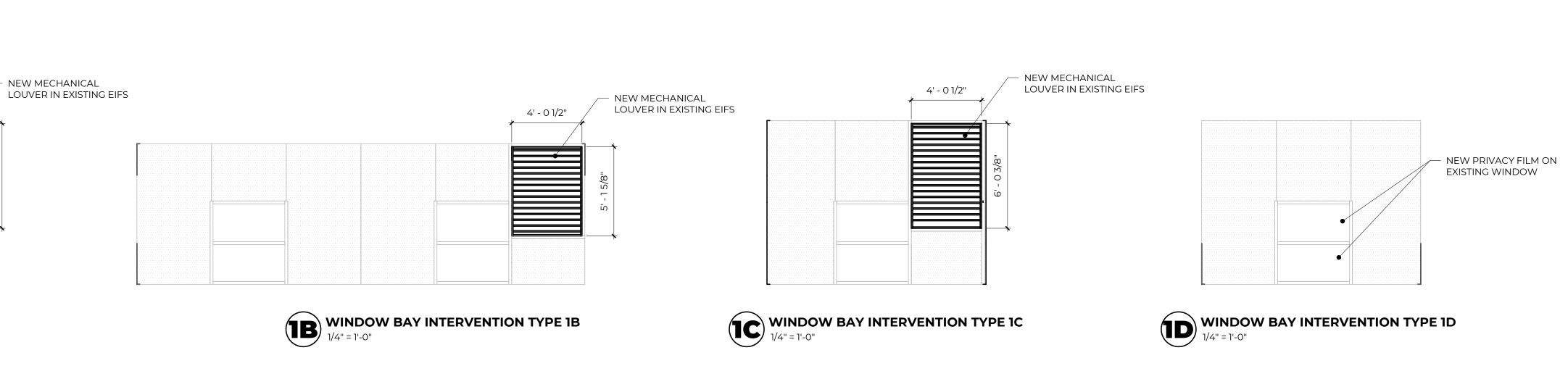
03.08.2024

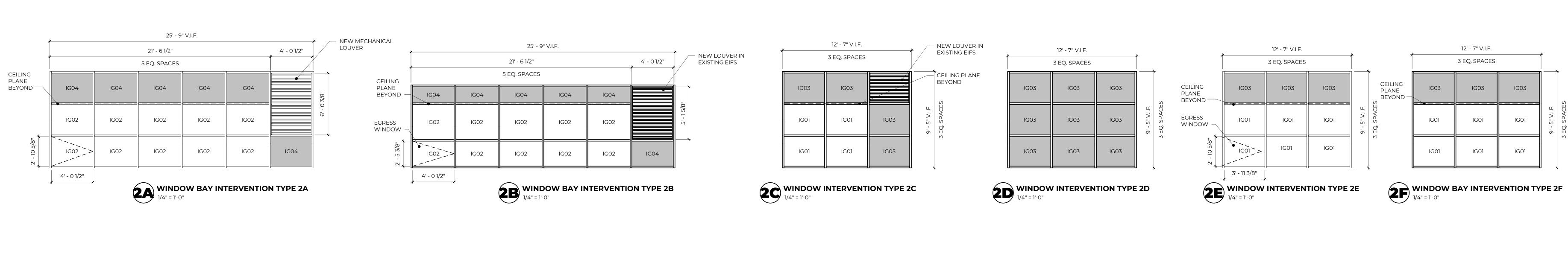
BUILDING WINDOW
PLAN - ALTERNATE 01 &
ALTERNATE 02

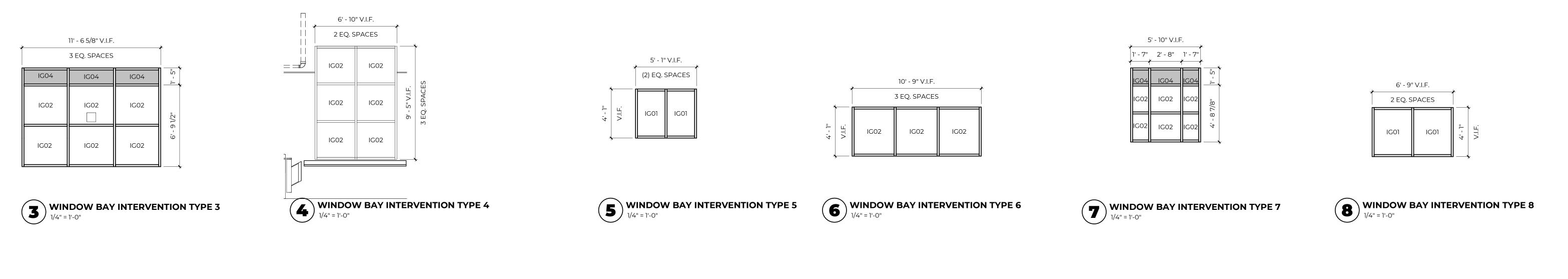


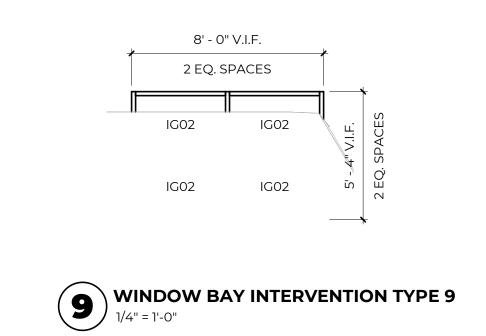


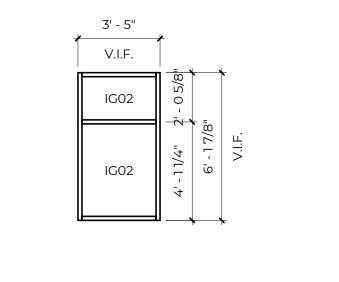
IG05 | SIMILAR TO IG02 WITH TRANSLUCENCY TO DIFFUSE LIGHT INTO THE SPACE

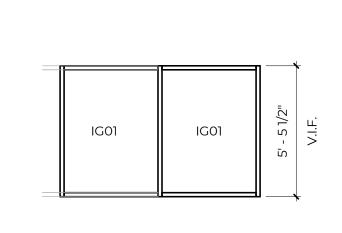


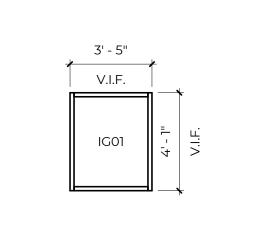


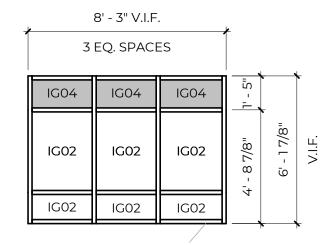


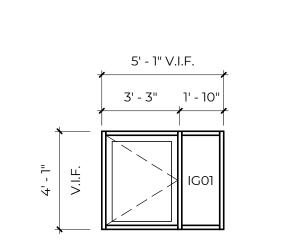


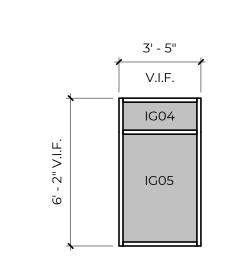














4' - 0 1/2"

WINDOW BAY INTERVENTION TYPE 1A

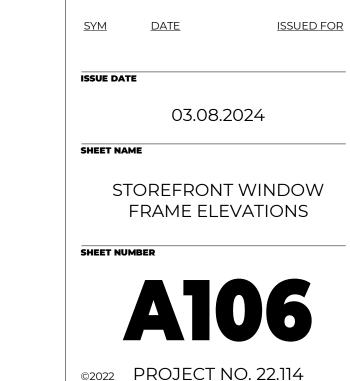




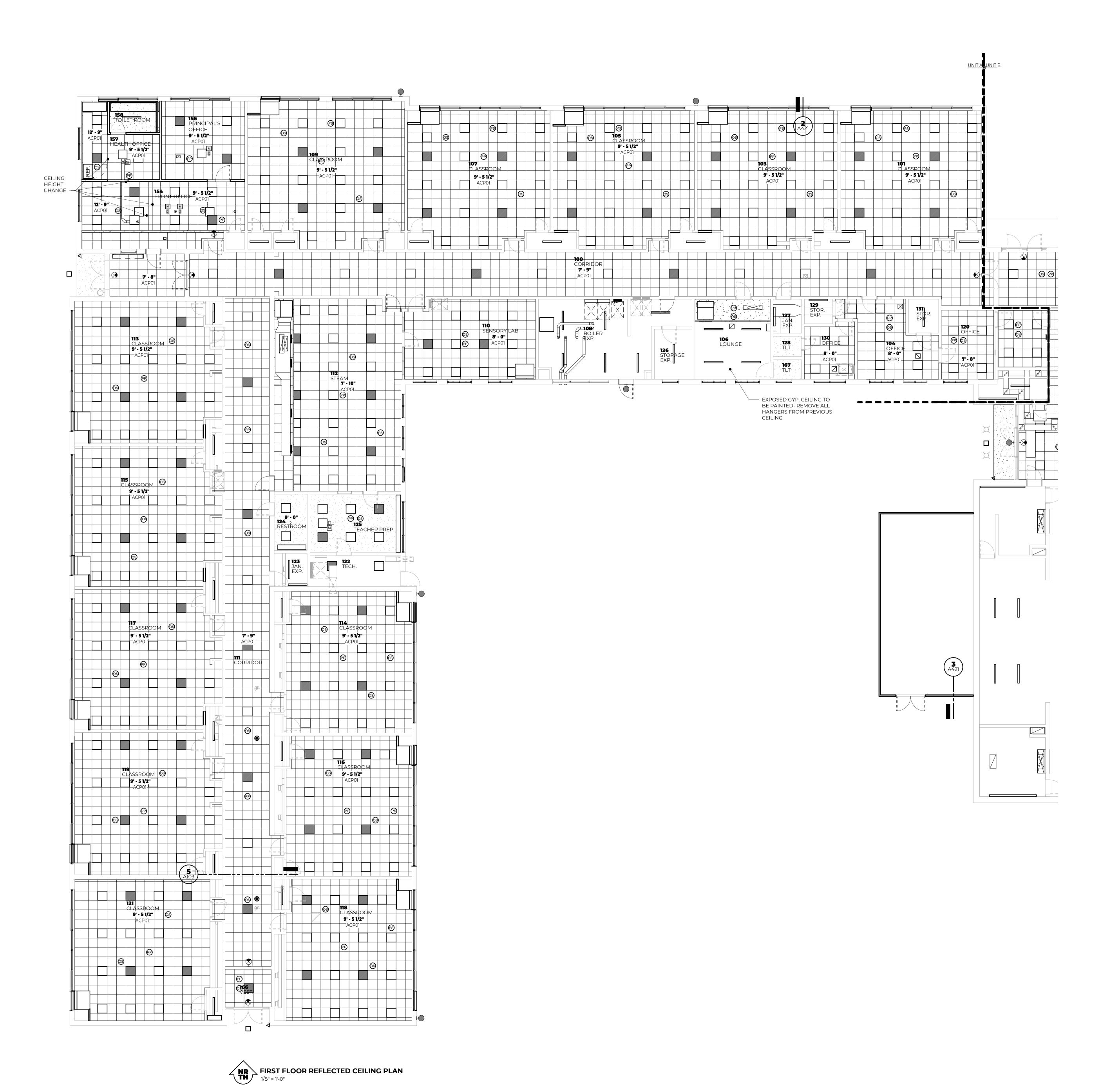


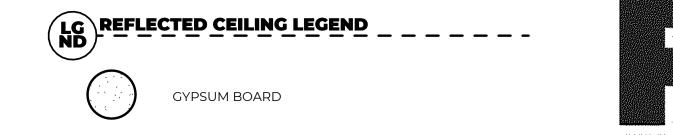






GLENSIDE

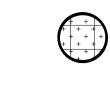




ACPOI: 24' x 24' LAY-IN ACC



ACP01: 24' x 24' LAY-IN ACOUSTICAL TILE GRID [REFER TO MATERIAL SELECTION SCHEDULE]

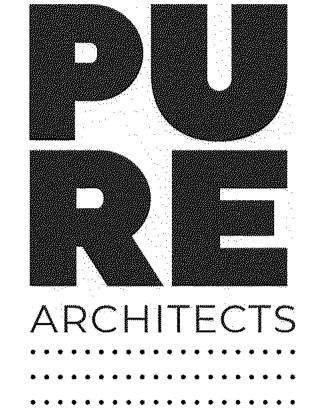


ACP02: 24' x 24' CLEANABLE LAY-IN ACOUSTICAL TILE GRID [REFER TO MATERIAL SELECTION SCHEDULE]

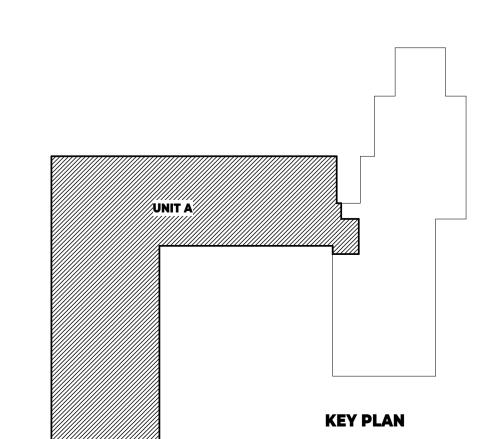


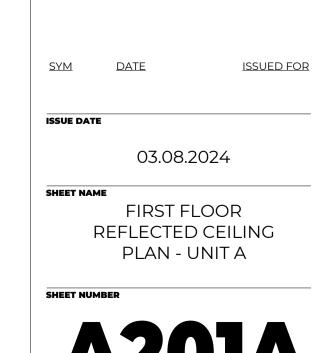


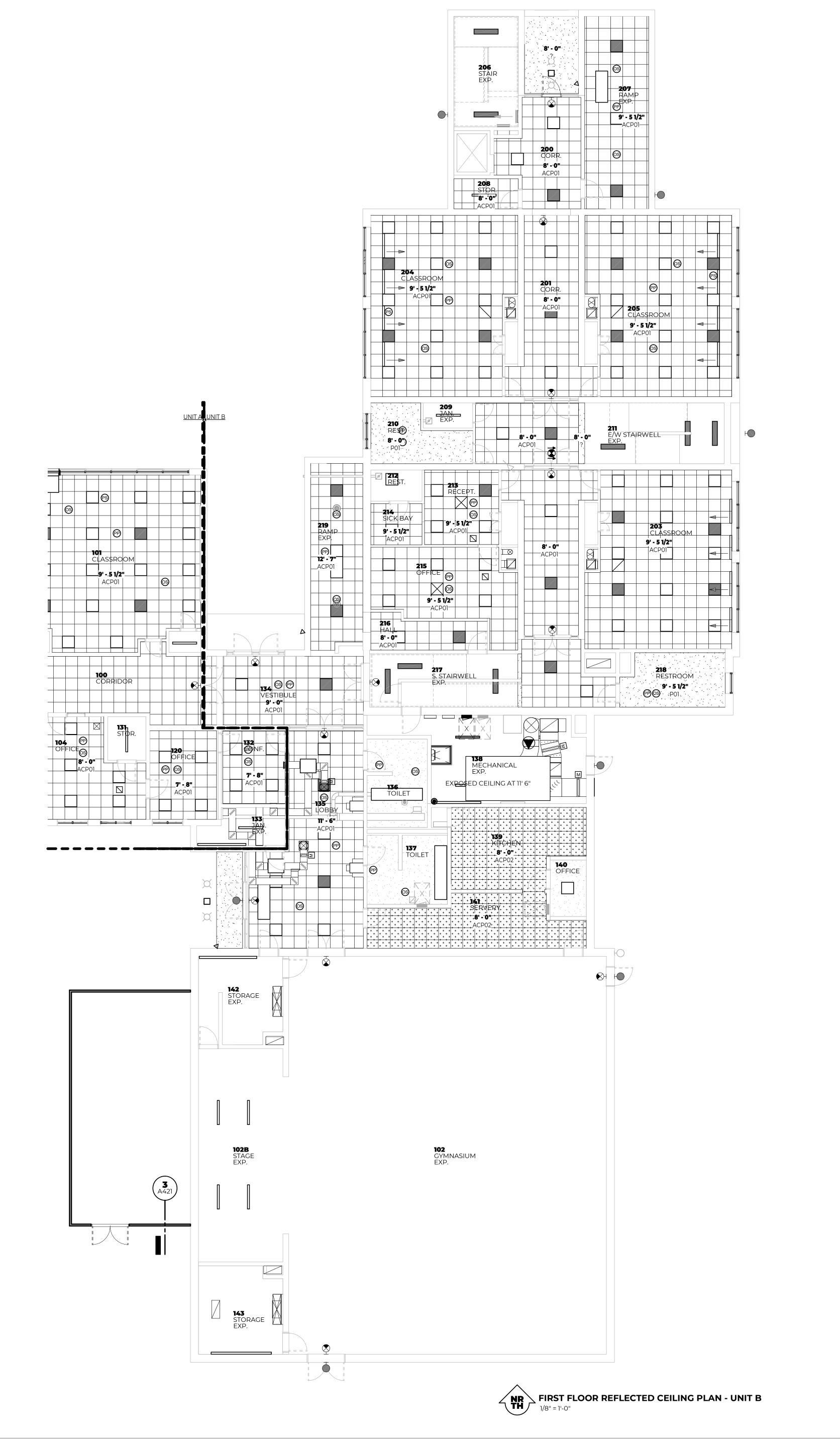
- WHERE CEILING TILE IS LESS THAN 3" AT PERIMETER OF ROOM PROVIDE A CUT 2x4 TILE IN LIEU OF FULL 2x2 TILE AND SMALL PIECE OF TILE OR DOUBLE GRID - MATCH 2x2 FOR STYLE AND COLOR.
- 2. AT AREAS OF EXPOSED CEILING PAINT ALL STRUCTURE, DUCTWORK, PIPING, CONDUIT, HANGERS ETC., COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING SPECIFICATIONS. REFER TO THE REFLECTED CEILING PLANS FOR PAINT COLORS.

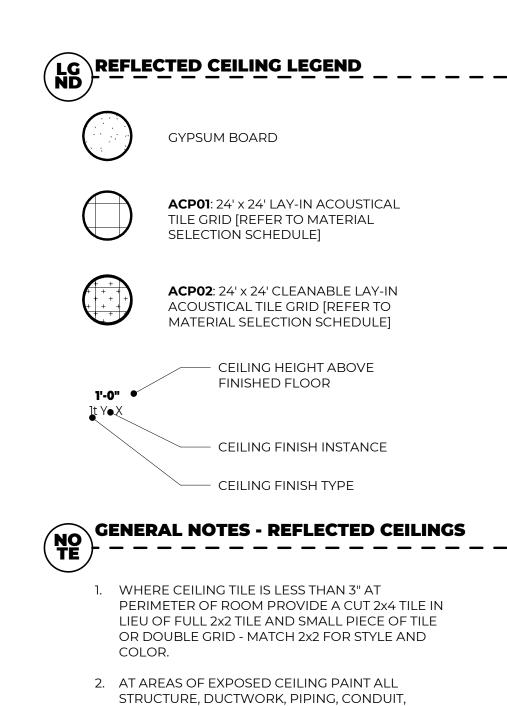


MPS GLENSIDE MUSKEGON PUBLIC SCHOOL



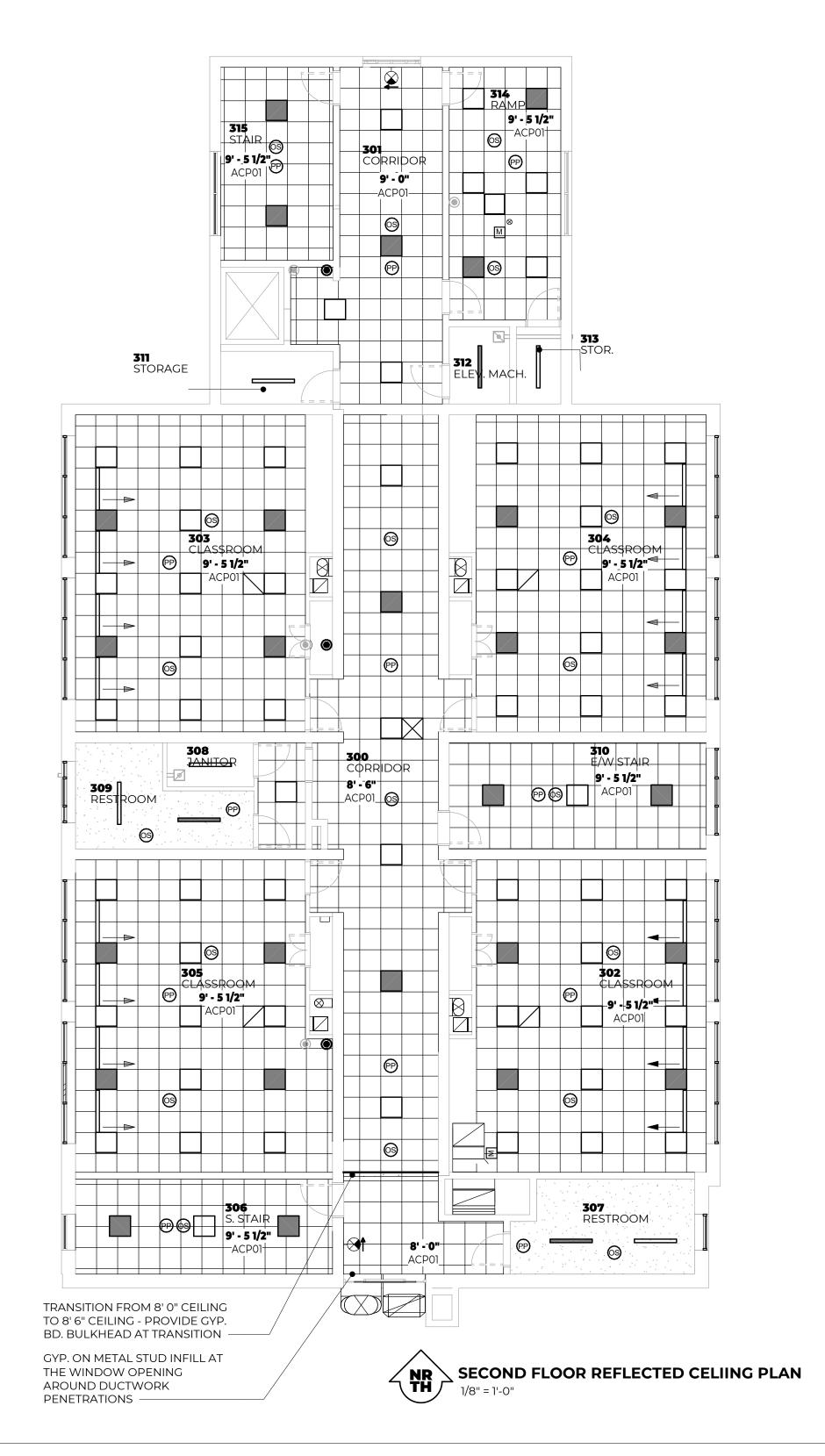


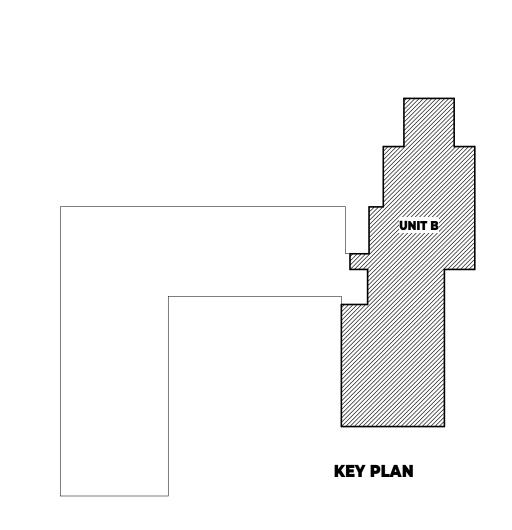




HANGERS ETC., COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING SPECIFICATIONS.
REFER TO THE REFLECTED CEILING PLANS FOR

PAINT COLORS.







> MPS GLENSIDE MUSKEGON PUBLIC

ISSUE DATE

03.08.2024

SHEET NAME

1ST AND 2ND FLOOR
REFLECTED CEILING
PLAN - UNIT B

SHEET NUMBER



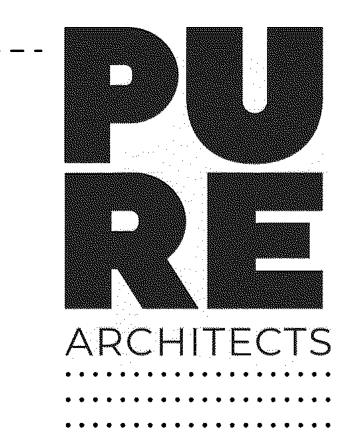


BRICK 1, COLOR:

CJ = CONTROL JOINT, COLOR:

EJ - BUILDING EXPANSION JOINT, COLOR:

SG = SPANDREL GLASS, COLOR:



MPS GLENSIDE

MUSKEGON PUBLIC SCHOOLS

1213 W Hackley Ave. Muskegon. MI 49441

SYM DATE

ISSUE DATE

03.08.2024

BUILDING ELEVATIONS -BASE BID

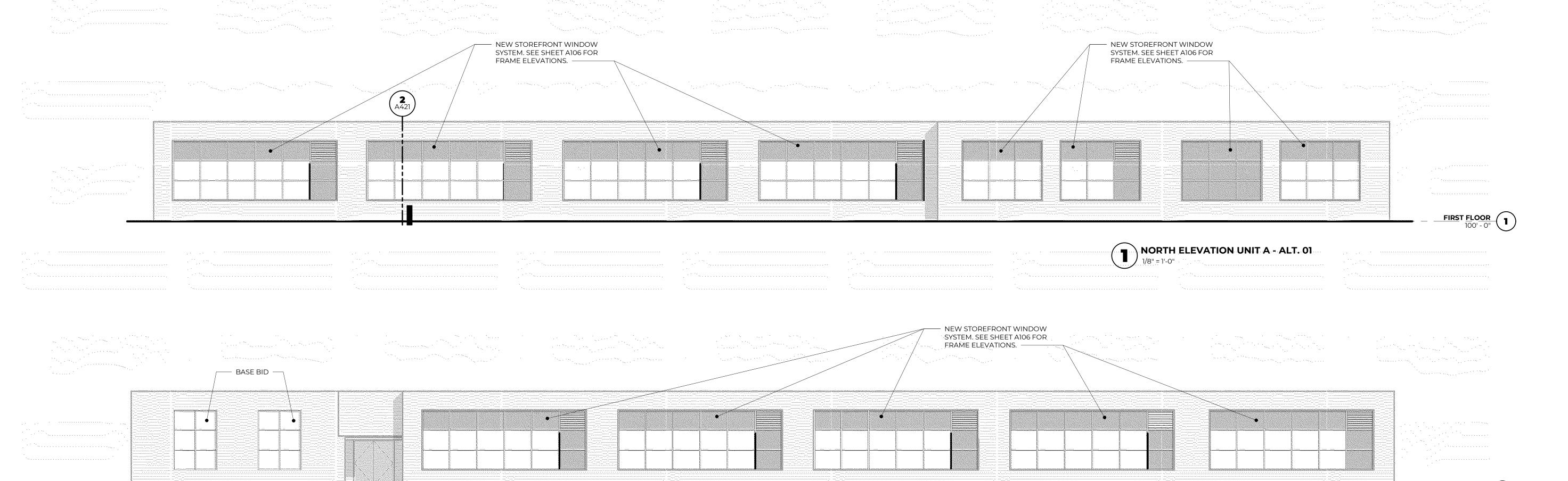
ARCHITECTS

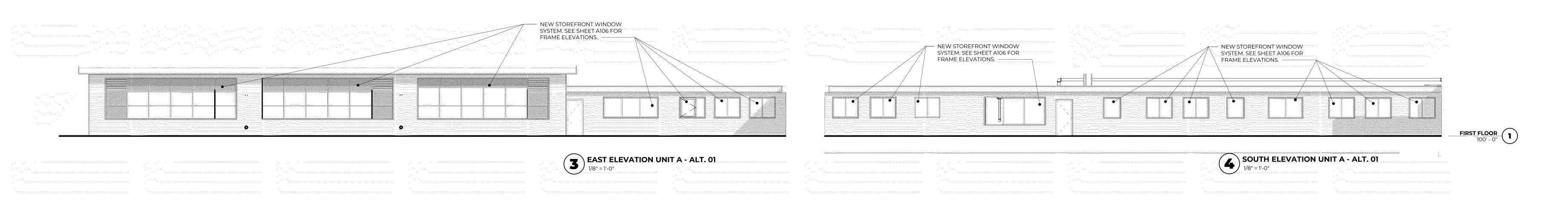
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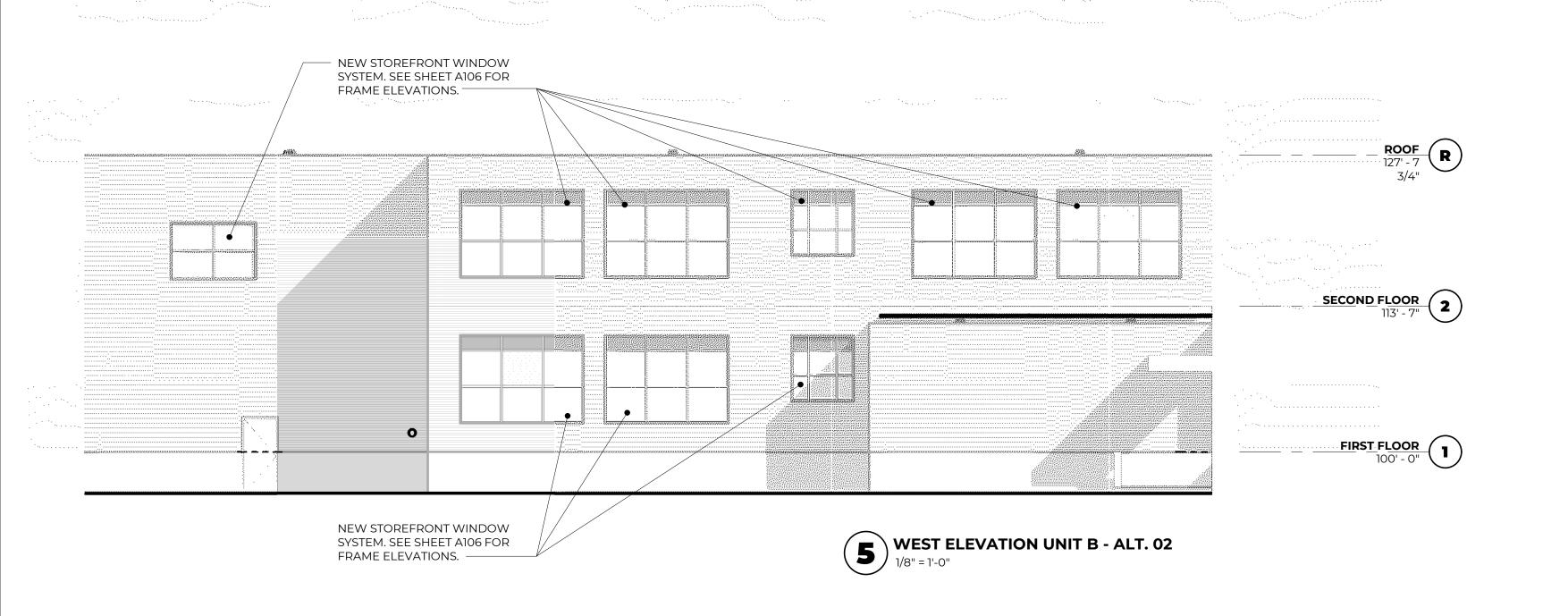
BRICK 1, COLOR:

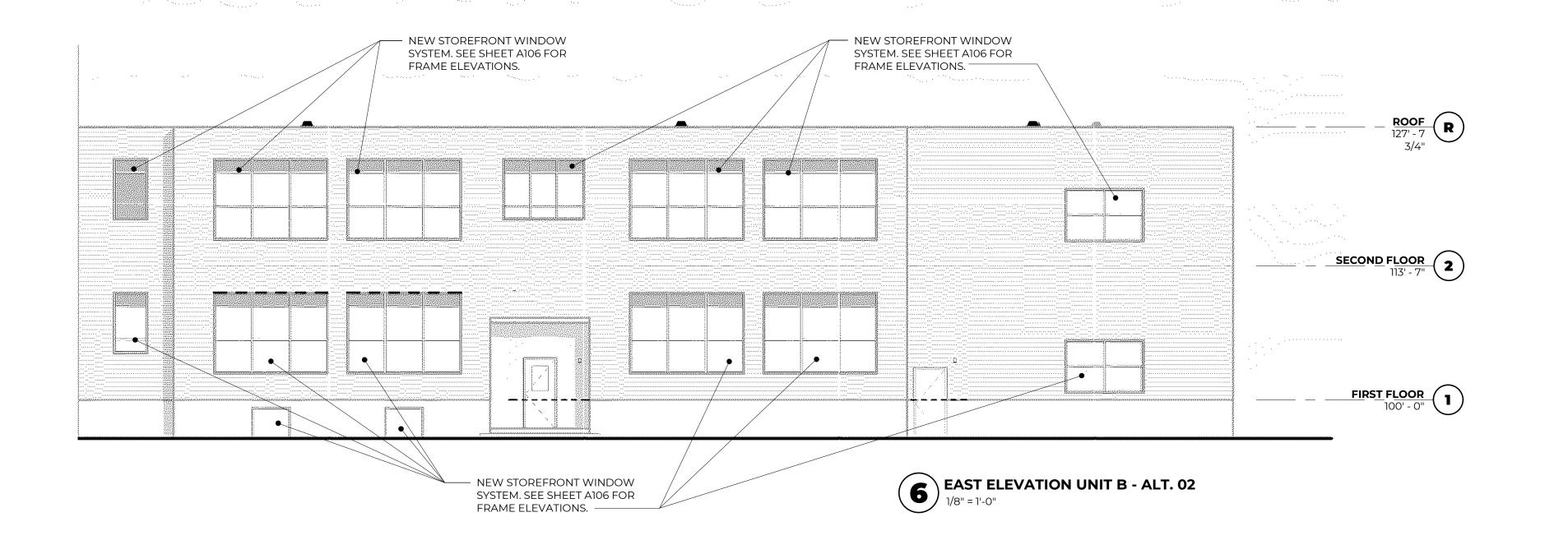
EXTERIOR ELEVATION LEGEND

CJ = CONTROL JOINT, COLOR: EJ - BUILDING EXPANSION JOINT, COLOR: SG = SPANDREL GLASS, COLOR:









WEST ELEVATION UNIT A - ALT. 01

SYM DATE

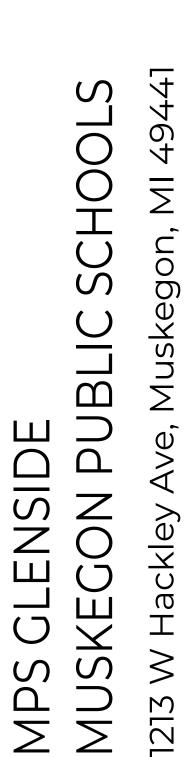
03.08.2024

ISSUED FOR

BUILDING ELEVATIONS -

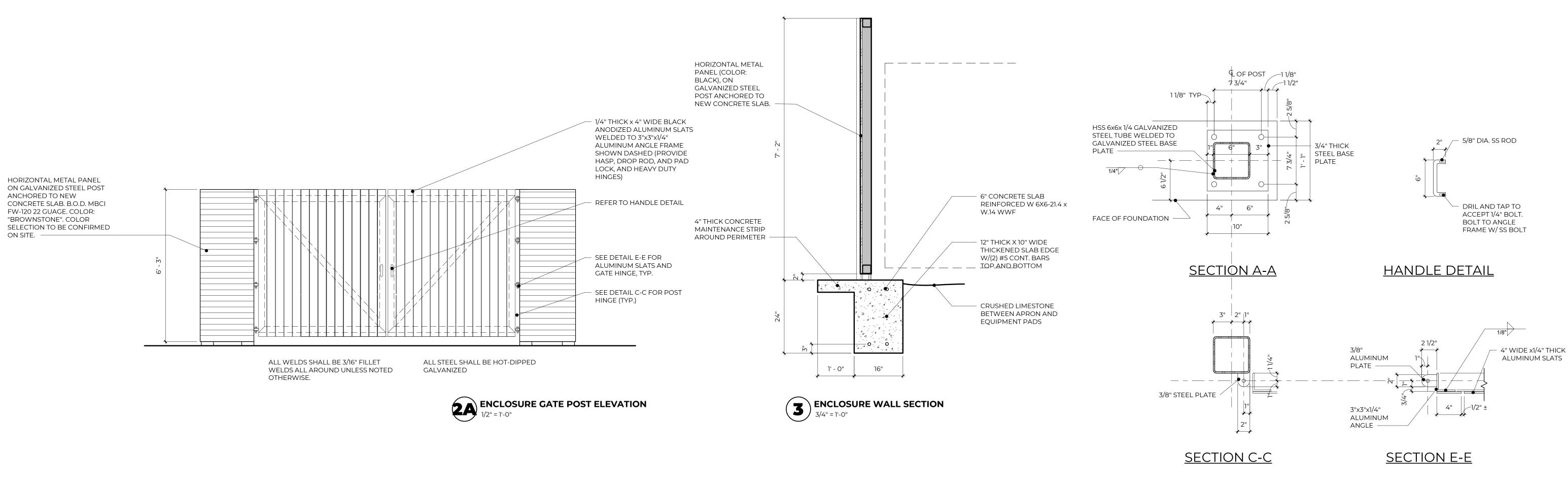
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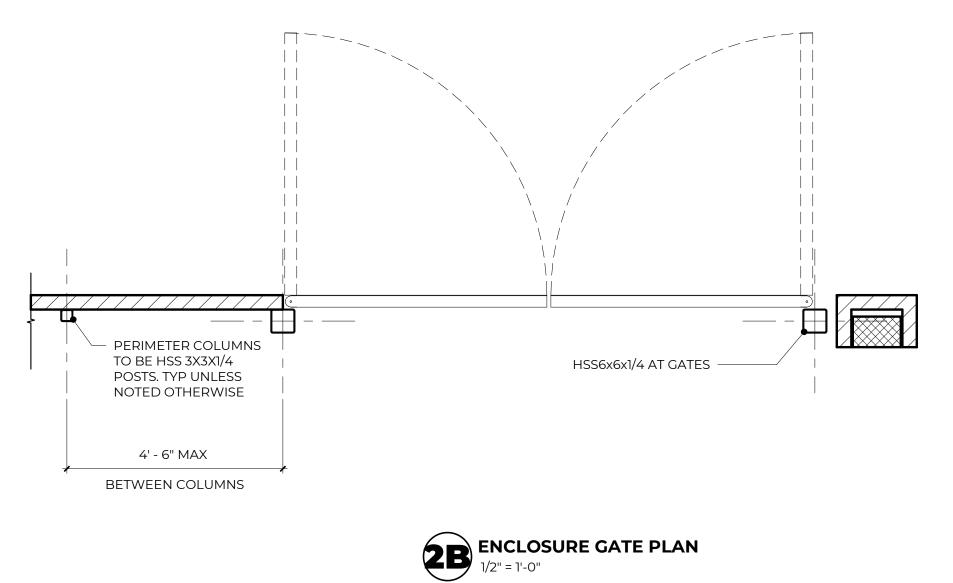
ALT. 01





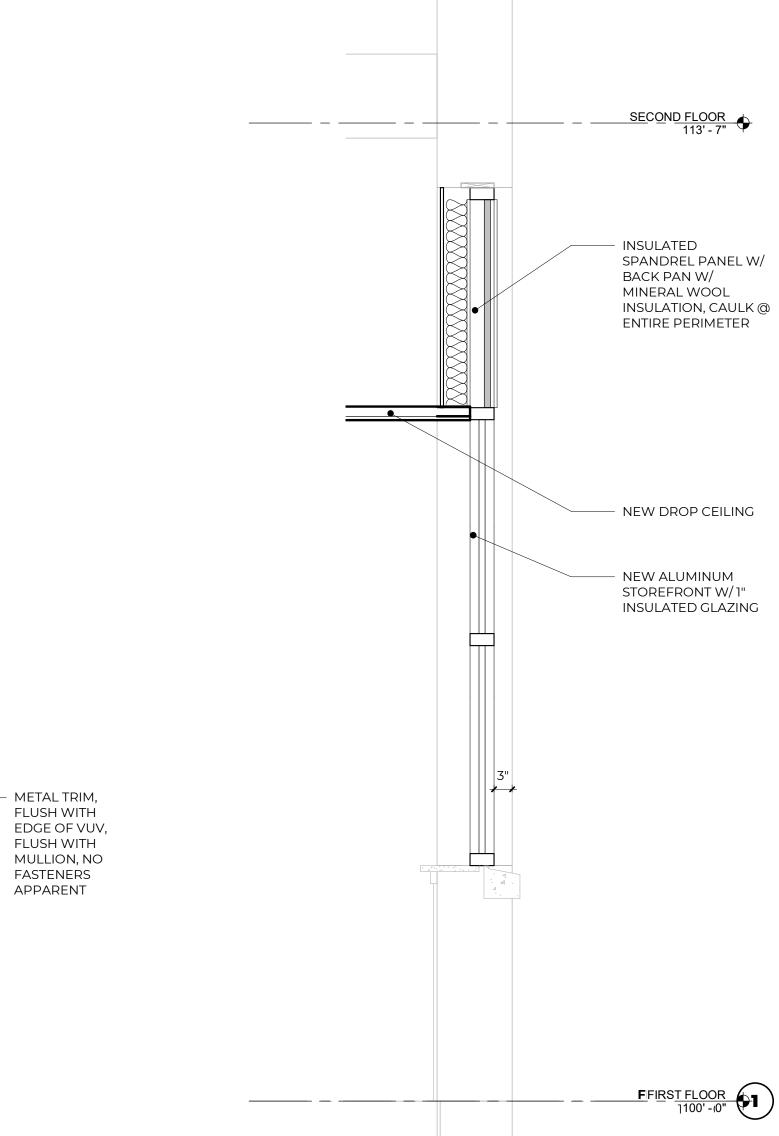


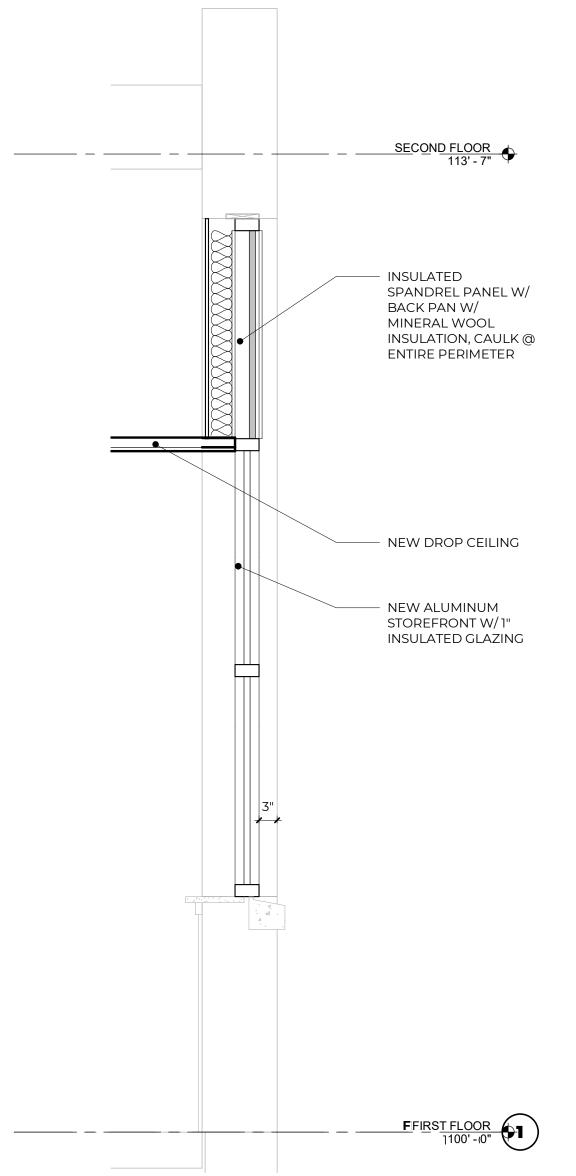




WALL, GYP ON METAL STUD,

PAINTED TO MATCH ADJACENT WALL





LAY-IN CEILING, REFER TO CEILING PLAN —

OVERHEAD COILING DOOR 1-HR FIRE SHUTTER —

LINTEL - REFER TO STRUCTURAL ———

SLIDING TRANSACTION WINDOW AS PART OF ANNODIZED ALUMINUM STOREFRONT SYSTEM —

4"

4"

FIRST FLOOR 100' - 0"

DETAIL AT COILING DOOR

SOLID SURFACE -

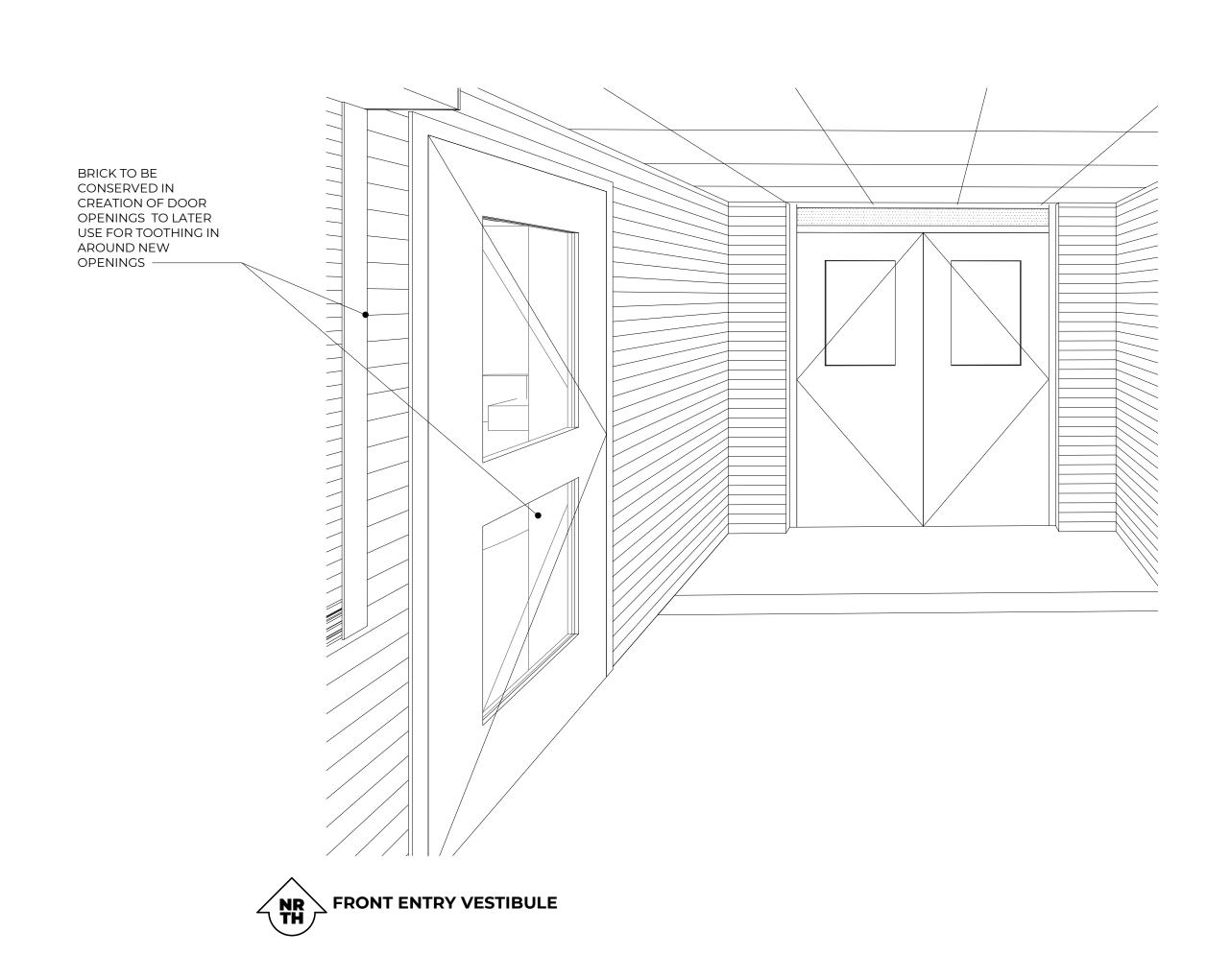
SSM01 —

DOOR TRACK

BEYOND —

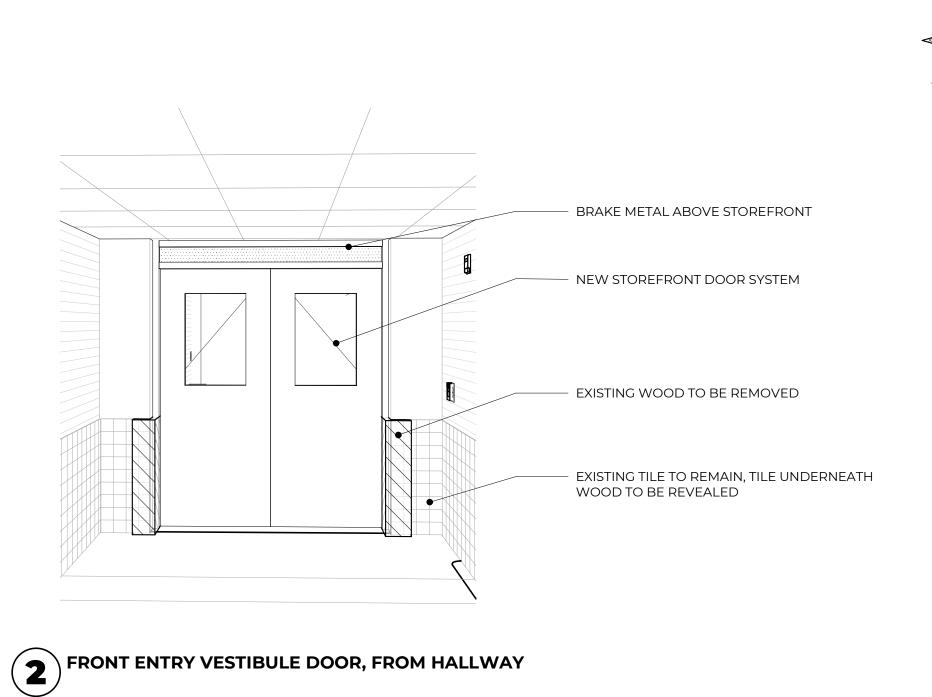


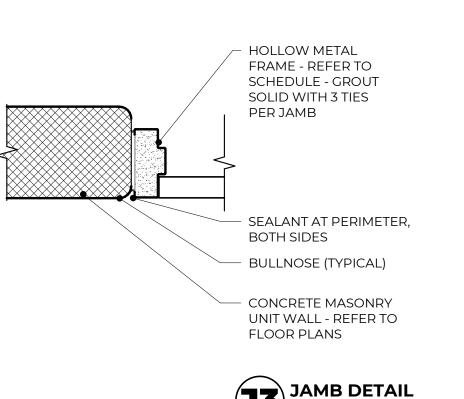


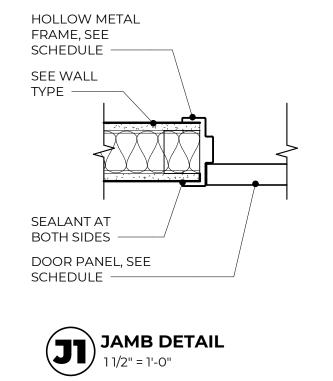


F20

F01









CONCRETE MASONRY UNIT -REFER TO PLANS

MASONRY BLOCK

FACE BRICK ON

- LINTEL - REFER

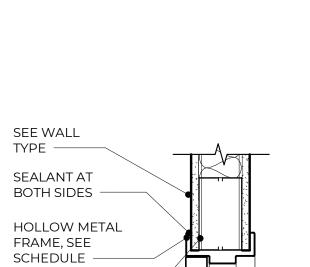
STRUCTURAL

BOTH SIDES

- PAINT (TYPICAL)

SEALANT AT PERIMETER,

BOTH SIDES







METAL STUD

BOX HEADER -

DOOR PANEL,

SEE SCHEDULE ——/

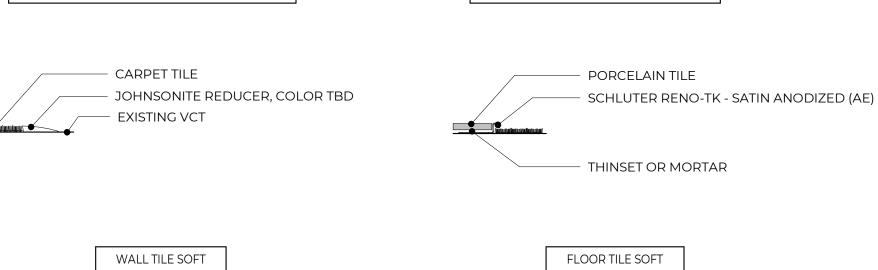


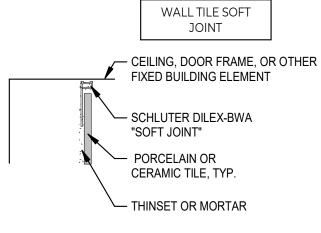
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SYM DATE 03.08.2024 DOOR SCHEDULES & DOOR PERSPECTIVES

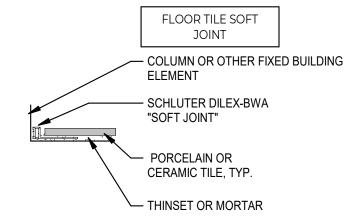
PRICE GROUP 2

CORRIDOR (BROWN, GLOSS)

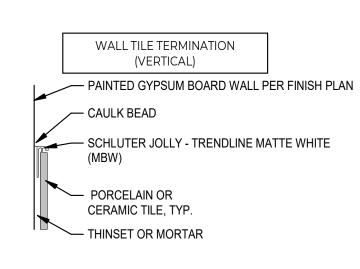




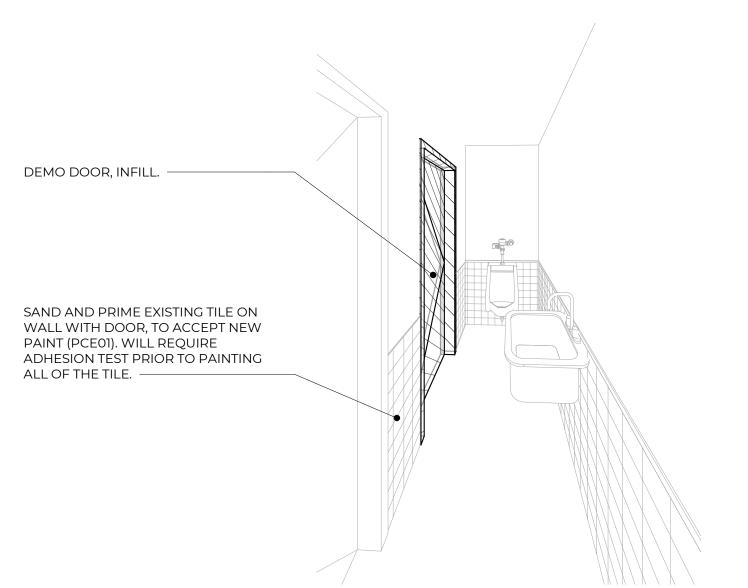
CARPET TILE TO EXISTING VCT



PORCELAIN TILE TO CARPET TILE



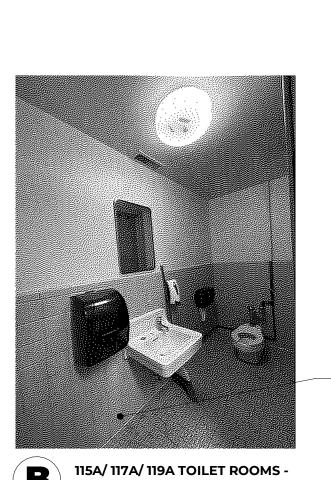


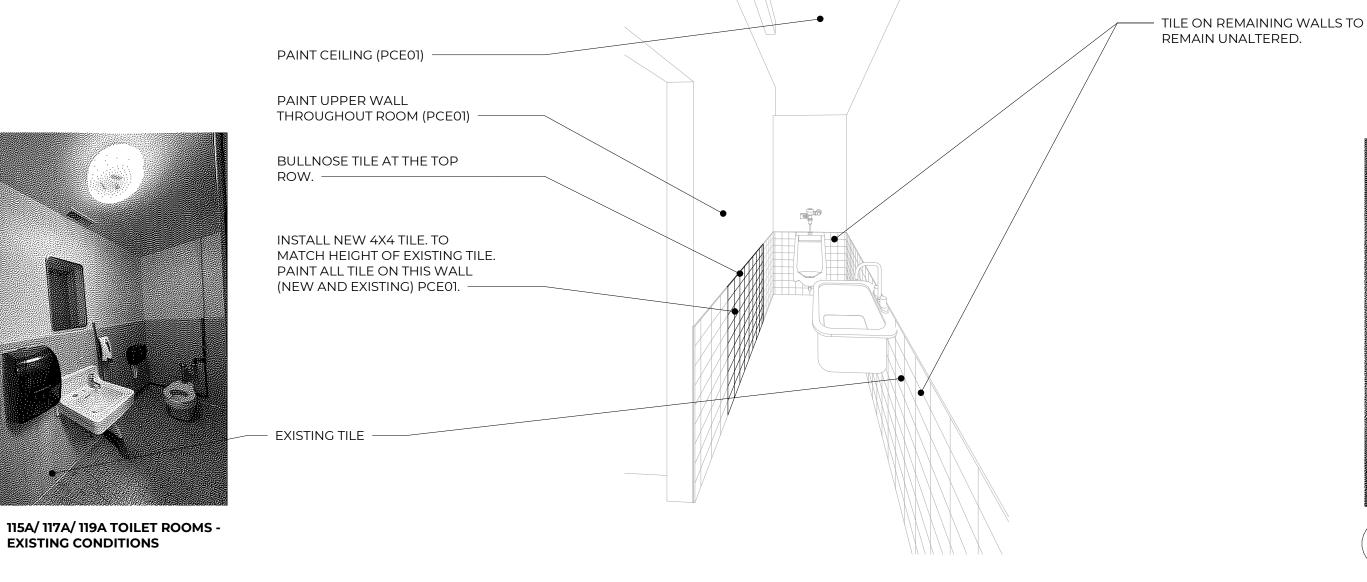


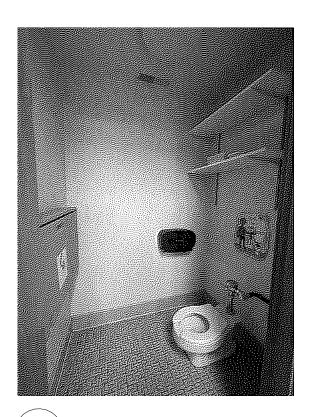
FORMICA

WHITE SPEX

SMO1 SOLID SURFACE MATERIAL







103A/ 105A/ 107B . C....
EXISTING CONDITIONS \setminus 103A/ 105A/ 107B TOILET ROOMS -

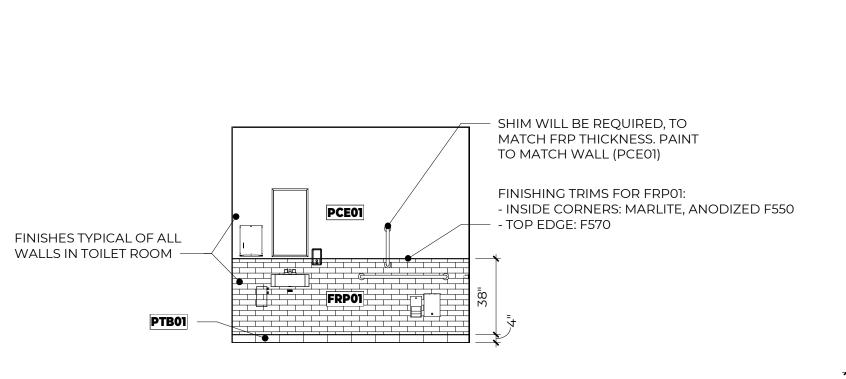
ALIGN FLOOR

TRANSITION WITH

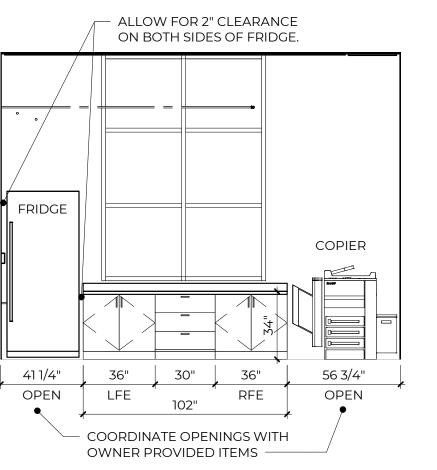
CORNER OF WALL -



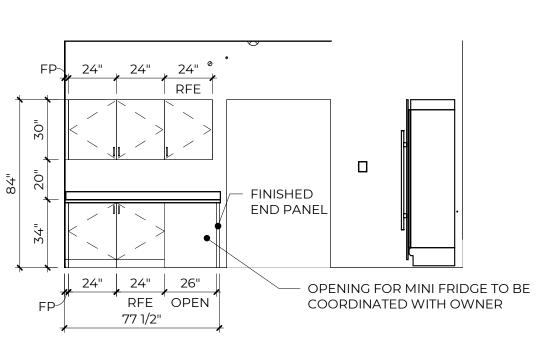


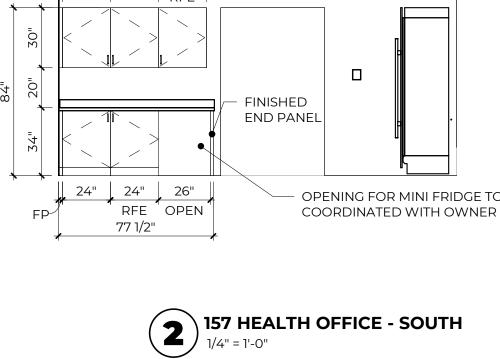


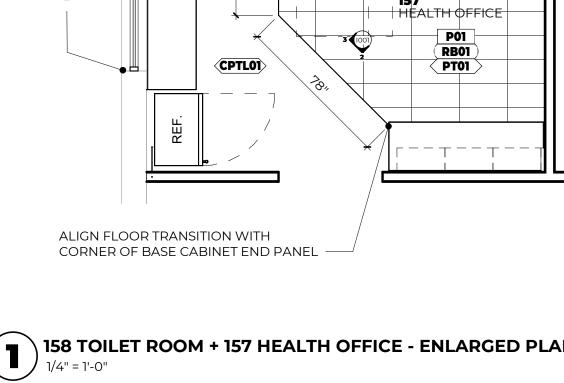
158 TOILET ROOM - NORTH



3 157 HEALTH OFFICE - EAST 1/4" = 1'-0"











REFER TO MATERIAL SELECTION SCHEDULE FOR - FLOOR BASE FINISH INFORMATION FLOOR FINISH

COUNTER FINISH

CABINET FINISH (BASE AND UPPER)

P-0 - INDICATES EXTENT OF ATYPICAL FINISH

 INDICATES FLOOR MATERIAL TRANSITION NOTE - REFER TO MATERIAL SELECTION SCHEDULE REMARKS FOR FLOOR TRANSITION TYPE

MULTI • INDICATES MULTIPLE MATERIAL TYPES ON A SURFACE. REFER TO DETAIL OR ELEVATIONS. ■ INDICATES MATERIAL PATTERN. REFER TO DETAILS



.

GENERAL NOTES - INTERIORS

- 1. REFER TO ARCHITECTURAL FLOOR PLANS AND SPECIFICATION FOR ADDITIONAL INFORMATION ON CONSTRUCTION MATERIALS.
- 2. REFER TO REFLECTED CEILING PLANS FOR CEILING FINISH AND HEIGHTS.
- 3. REFER TO ENLARGED STAIR PLANS AND SECTIONS FOR FINISH COLORS OF STRINGERS AND GUARDRAILS.
- 4. REFER TO DOOR SCHEDULE FOR FINISH ON DOORS AND FRAMES.
- 5. REFER TO ENLARGED FINISH PLANS FOR TOILET ROOM FINISHES.
- 6. FINISH TAGS APPLY TO LIKE MATERIALS IN ENTIRE ROOM. I.E. CASEWORK TAG MAY ONLY CALLOUT ONE RUN OF CASEWORK, BUT ALL CASEWORK IN ROOM RECEIVE THE SAME FINISHES. UNLESS TAGGED DIFFERENTLY.
- 7. CASEWORK FINISH TAGS DO NOT APPLY TO CUSTOM MILLWORK PIECES. REFER TO ENLARGED MILLWORK DETAILS FOR FINISH MATERIALS.
- 8. WALL MOUNTED DIFFUSERS, GRILLES, ACCESS PANELS, ELECTRICAL PANELS, ETC. ARE TO BE PAINTED WITH AN OIL-BASED PAINT TO MATCH THE ADJACENT WALL FINISH.
- 9. CEILING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT CEILING FINISH.
- 10. ALL EXPOSED BRICK TO REMAIN EXPOSED (DO NOT PAINT).
- 11. INCLUDE SOFT JOINTS WHERE TILE MEETS CEILING, ADJACENT WALLS, AND DOOR TRIM.
- 12. INCLUDE DILEX COVE TRIM AT BASE OF TILED WALLS
- 13. PAINT EXPOSED COLUMNS PCE01

WINDOW TREATMENT LEGEND

MANUAL SINGLE ROLLER SHADE, BASIS OF DESIGN:

MERMET E SCREEN, CHARCOAL/COCOA, 3% OPEN VINYL WINDOW FILM, SOLYX: WHITE DUSTED MATTE SXJ-0550

1. WINDOW TREATMENTS TO BE PRICED AS A PART OF ALTERNATE 01

- AND 02.
- 2. REFER TO SPECIFICATION FOR MORE INFORMATION.
- 3. WINDOW TREATMENT TAGS SHOWN ON PLAN REPRESENTS A SINGLE
- 4. REFER TO FLOOR PLANS, EXTERIOR ELEVATIONS AND FRAME TYPES FOR HEIGHT AND WIDTH OF OPENINGS.
- 5. WINDOW TREATMENTS ARE TO BE MOUNTED INSIDE OF THE WINDOW OPENING FROM HEAD TO SILL AND JAMB TO JAMB, UNLESS NOTED OTHERWISE.
- 6. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION.

GENERAL NOTES - CASEWORK

FRONTS IN THAT ROOM.

SPECIFIED.

STANDARD WHITE

- 1. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO FABRICATION.
- 2. FILLER PANELS SHALL BE NO LESS THAN 2" WIDE, UNLESS NOTED OTHERWISE.
- 3. REFER TO FLOOR FINISH PLANS FOR CASEWORK AND COUNTERTOP FINISHES BY ROOM.
- 4. FINISH ANY EXPOSED END PANELS, UNDERSIDE OF CABINETS OR OPEN CABINETS, WITH PLASTIC LAMINATE SPECIFIED FOR
- 5. ALL VERTICAL AND HORIZONTAL EXPOSED AND SEMI-EXPOSED SURFACES TO BE FINISHED WITH BODY PLASTIC LAMINATE.
- 6. SUPPORT BRACKETS ARE REQUIRED EVERY 36" O.C. AT AREAS WHERE COUNTERTOP IS OPEN UNDERNEATH. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING BRACKETS APPROPRIATELY SIZED BASED ON DEPTH OF COUNTER.
- 7. PATTERN OR GRAIN DIRECTION TO BE VERTICAL ON DOORS AND ON DRAWERS - UNLESS NOTED OTHERWISE.
- 8. LOCKS: ALL UNITS TO BE KEYED ALIKE PER ROOM. ALL ROOMS KEYED DIFFERENTLY. LOWER CASEWORK + WARDROBES TO BE LOCKING. UPPER CASEWORK TO BE NON-LOCKING.
- 9. GROMMET LOCATIONS SHALL BE VERIFIED IN THE FIELD WITH THE OWNER PRIOR TO INSTALLATION - COORDINATE WITH POWER & DATA LOCATIONS FOR ANY ADDITIONAL WIRE MANAGEMENT REQUIREMENTS
- 10. 'SLABSMITHING' WILL BE REQUIRED IN INSTANCES WHERE A PATTERNED QUARTZ, NATURAL STONE, OR SOLID SURFACE IS
- 11. PULL SELECTION: BASIS OF DESIGN: RICHELIEU PRODUCT #BP2288128900. CONTEMPORARY METAL PULL - 2288. 5-1/32" CENTER TO CENTER MATTE BLACK
- 12. COUNTERTOP EDGE: 3MM PVC EDGE, STANDARD SQUARE, TO MATCH LAMINATE SELECTION.
- 13. CABINET INTERIOR AND TOPS OF UPPER CABINETS TO BE
- 14. HINGE: 5 KNUCKLE HINGE, MATTE BLACK, CONCEALED



ADJ - ADJUSTABLE BF - BARRIER FREE FP - FILLER PANEL LFE - LEFT FINISHED END RP - REMOVABLE PANEL RFE - RIGHT FINISHED END

SYM DATE

03.08.2024

MATERIAL SELECTION SCHEDULE

LG FINISH PLAN LEGEND REFER TO MATERIAL SELECTION SCHEDULE FOR FLOOR BASE FINISH INFORMATION FLOOR FINISH

PLO_ COUNTER FINISH

CABINET FINISH (BASE AND UPPER)

P-0 - INDICATES EXTENT OF ATYPICAL FINISH

VCT-0 CPT-0 INDICATES FLOOR MATERIAL TRANSITION NOTE - REFER TO MATERIAL SELECTION

TRANSITION TYPE MULTI ◆ INDICATES MULTIPLE MATERIAL TYPES ON A SURFACE. REFER TO DETAIL OR ELEVATIONS. DETAILS

SCHEDULE REMARKS FOR FLOOR



- 1. REFER TO ARCHITECTURAL FLOOR PLANS AND SPECIFICATION FOR ADDITIONAL INFORMATION ON CONSTRUCTION MATERIALS.
- 2. REFER TO REFLECTED CEILING PLANS FOR CEILING FINISH AND
- 3. REFER TO ENLARGED STAIR PLANS AND SECTIONS FOR FINISH COLORS OF STRINGERS AND GUARDRAILS.
- 4. REFER TO DOOR SCHEDULE FOR FINISH ON DOORS AND FRAMES.
- 5. REFER TO ENLARGED FINISH PLANS FOR TOILET ROOM FINISHES.
- CASEWORK TAG MAY ONLY CALLOUT ONE RUN OF CASEWORK, BUT ALL CASEWORK IN ROOM RECEIVE THE SAME FINISHES, UNLESS TAGGED DIFFERENTLY.
- 7. CASEWORK FINISH TAGS DO NOT APPLY TO CUSTOM MILLWORK PIECES. REFER TO ENLARGED MILLWORK DETAILS FOR FINISH
- 8. WALL MOUNTED DIFFUSERS, GRILLES, ACCESS PANELS, ELECTRICAL PANELS, ETC. ARE TO BE PAINTED WITH AN OIL-BASED PAINT TO MATCH THE ADJACENT WALL FINISH.
- 9. CEILING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT CEILING FINISH.
- 10. ALL EXPOSED BRICK TO REMAIN EXPOSED (DO NOT PAINT). 11. INCLUDE SOFT JOINTS WHERE TILE MEETS CEILING, ADJACENT
- WALLS, AND DOOR TRIM. 12. INCLUDE DILEX COVE TRIM AT BASE OF TILED WALLS
- 13. PAINT EXPOSED COLUMNS PCE01



WT01 MANUAL SINGLE ROLLER SHADE, BASIS OF DESIGN: MERMET E SCREEN, CHARCOAL/COCOA, 3% OPEN

WF01 VINYL WINDOW FILM, SOLYX: WHITE DUSTED MATTE SXJ-0550

- 1. WINDOW TREATMENTS TO BE PRICED AS A PART OF ALTERNATE 01
- 2. REFER TO SPECIFICATION FOR MORE INFORMATION.
- 3. WINDOW TREATMENT TAGS SHOWN ON PLAN REPRESENTS A SINGLE
- 4. REFER TO FLOOR PLANS, EXTERIOR ELEVATIONS AND FRAME TYPES FOR HEIGHT AND WIDTH OF OPENINGS.
- 5. WINDOW TREATMENTS ARE TO BE MOUNTED INSIDE OF THE WINDOW OPENING FROM HEAD TO SILL AND JAMB TO JAMB, UNLESS NOTED OTHERWISE.
- 6. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION.

NO TE PLAN KEYED NOTES

- 1 REFER TO SHEET 1001, DETAILS 5 AND 6 FOR ADDITIONAL FINISH DIRECTION. SEE PHOTO 'B' FOR EXISTING CONDITIONS.
- 2 PAINT TO MATCH ADJACENT WALL.
- 3 WALL INFILL TO RECEIVE NEW TILE BASE AND WALL PAINT ABOVE. SEE PHOTO 'A' ON SHEET 1001 FOR EXISTING CONDITIONS.
- 4 ADD CLOSET ROD.

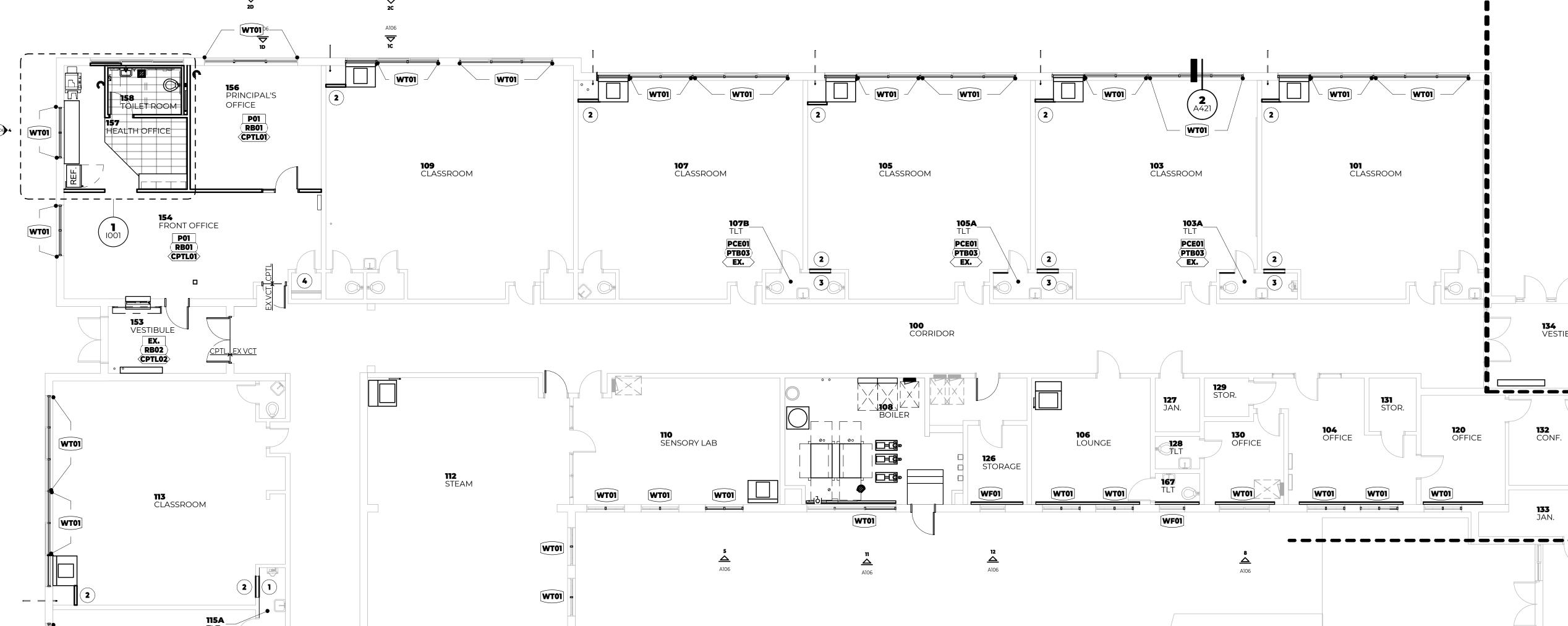
SYM DATE 03.08.2024

FIRST FLOOR FINISH PLAN

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UNIT A **KEY PLAN**

• • • • • • • • • • • • • • • • • • •



125 TEACHER PREP

114 CLASSROOM

116 CLASSROOM

118 CLASSROOM

124 RESTROOM

CORRIDOR

115 Classroom

CLASSROOM

119 CLASSROOM

121 CLASSROOM

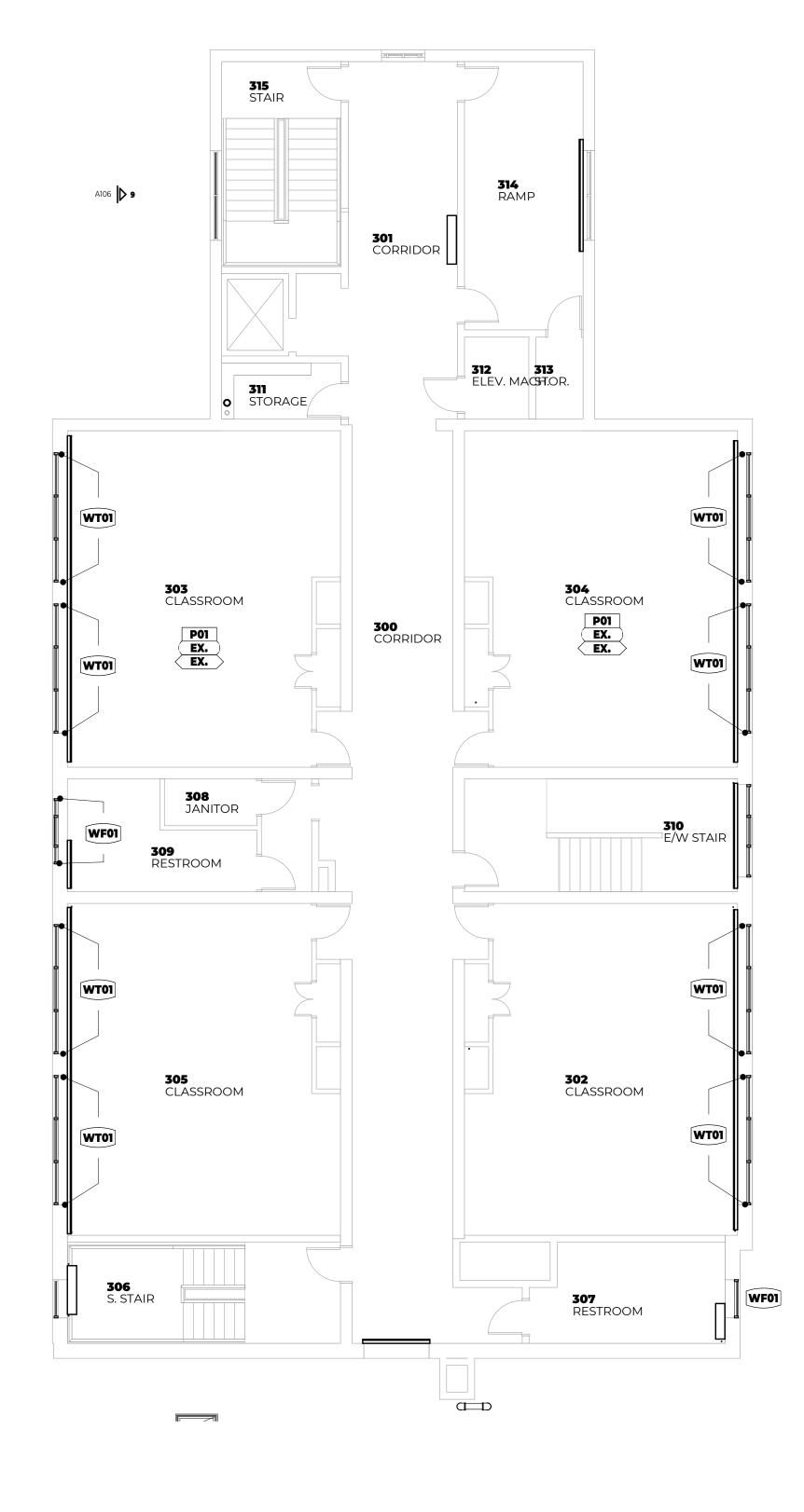
FIRST FLOOR FINISH PLAN - UNIT A
1/8" = 1'-0"



A106 \\

A106 2A





NR SECOND FLOOR FINISH PLAN - UNIT B



REFER TO MATERIAL WALL FINISH SELECTION SCHEDULE FOR FLOOR BASE ___ FLOOR FINISH

FINISH INFORMATION

PLO_ COUNTER FINISH

CABINET FINISH (BASE AND UPPER)

P-0 - INDICATES EXTENT OF ATYPICAL FINISH

NOTE - REFER TO MATERIAL SELECTION SCHEDULE REMARKS FOR FLOOR TRANSITION TYPE MULTI ● INDICATES MULTIPLE MATERIAL TYPES ON A SURFACE. REFER TO DETAIL OR ELEVATIONS.

■ INDICATES MATERIAL PATTERN. REFER TO DETAILS

VCT-0 CPT-0 INDICATES FLOOR MATERIAL TRANSITION



1. REFER TO ARCHITECTURAL FLOOR PLANS AND SPECIFICATION

2. REFER TO REFLECTED CEILING PLANS FOR CEILING FINISH AND

FOR ADDITIONAL INFORMATION ON CONSTRUCTION MATERIALS.

3. REFER TO ENLARGED STAIR PLANS AND SECTIONS FOR FINISH COLORS OF STRINGERS AND GUARDRAILS.

4. REFER TO DOOR SCHEDULE FOR FINISH ON DOORS AND FRAMES.

5. REFER TO ENLARGED FINISH PLANS FOR TOILET ROOM FINISHES.

6. FINISH TAGS APPLY TO LIKE MATERIALS IN ENTIRE ROOM. I.E. CASEWORK TAG MAY ONLY CALLOUT ONE RUN OF CASEWORK, BUT ALL CASEWORK IN ROOM RECEIVE THE SAME FINISHES, UNLESS TAGGED DIFFERENTLY.

7. CASEWORK FINISH TAGS DO NOT APPLY TO CUSTOM MILLWORK PIECES. REFER TO ENLARGED MILLWORK DETAILS FOR FINISH MATERIALS.

8. WALL MOUNTED DIFFUSERS, GRILLES, ACCESS PANELS, ELECTRICAL PANELS, ETC. ARE TO BE PAINTED WITH AN OIL-BASED PAINT TO MATCH THE ADJACENT WALL FINISH.

9. CEILING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT CEILING FINISH. 10. ALL EXPOSED BRICK TO REMAIN EXPOSED (DO NOT PAINT).

11. INCLUDE SOFT JOINTS WHERE TILE MEETS CEILING, ADJACENT WALLS, AND DOOR TRIM.

12. INCLUDE DILEX COVE TRIM AT BASE OF TILED WALLS

13. PAINT EXPOSED COLUMNS PCE01

WINDOW TREATMENT LEGEND

WT01 MANUAL SINGLE ROLLER SHADE, BASIS OF DESIGN: MERMET E SCREEN, CHARCOAL/COCOA, 3% OPEN

WF01 VINYL WINDOW FILM, SOLYX: WHITE DUSTED MATTE SXJ-0550

1. WINDOW TREATMENTS TO BE PRICED AS A PART OF ALTERNATE 01

2. REFER TO SPECIFICATION FOR MORE INFORMATION.

3. WINDOW TREATMENT TAGS SHOWN ON PLAN REPRESENTS A SINGLE

4. REFER TO FLOOR PLANS, EXTERIOR ELEVATIONS AND FRAME TYPES FOR HEIGHT AND WIDTH OF OPENINGS.

5. WINDOW TREATMENTS ARE TO BE MOUNTED INSIDE OF THE WINDOW OPENING FROM HEAD TO SILL AND JAMB TO JAMB, UNLESS NOTED OTHERWISE.

6. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION.

NO FLOOR PLAN KEYED NOTES

1 REFER TO SHEET 1001, DETAILS 5 AND 6 FOR ADDITIONAL FINISH DIRECTION. SEE PHOTO 'B' FOR EXISTING CONDITIONS.

2 PAINT TO MATCH ADJACENT WALL. 3 WALL INFILL TO RECEIVE NEW TILE BASE AND WALL

PAINT ABOVE. SEE PHOTO 'A' ON SHEET 1001 FOR EXISTING CONDITIONS.

4 ADD CLOSET ROD.

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UNIT B **KEY PLAN**

03.08.2024

SECOND FLOOR FINISH PLAN

